



2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | 1ST FL MASTER ELEVATIONS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



SIDE

2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | 1ST FL MASTER ELEVATIONS

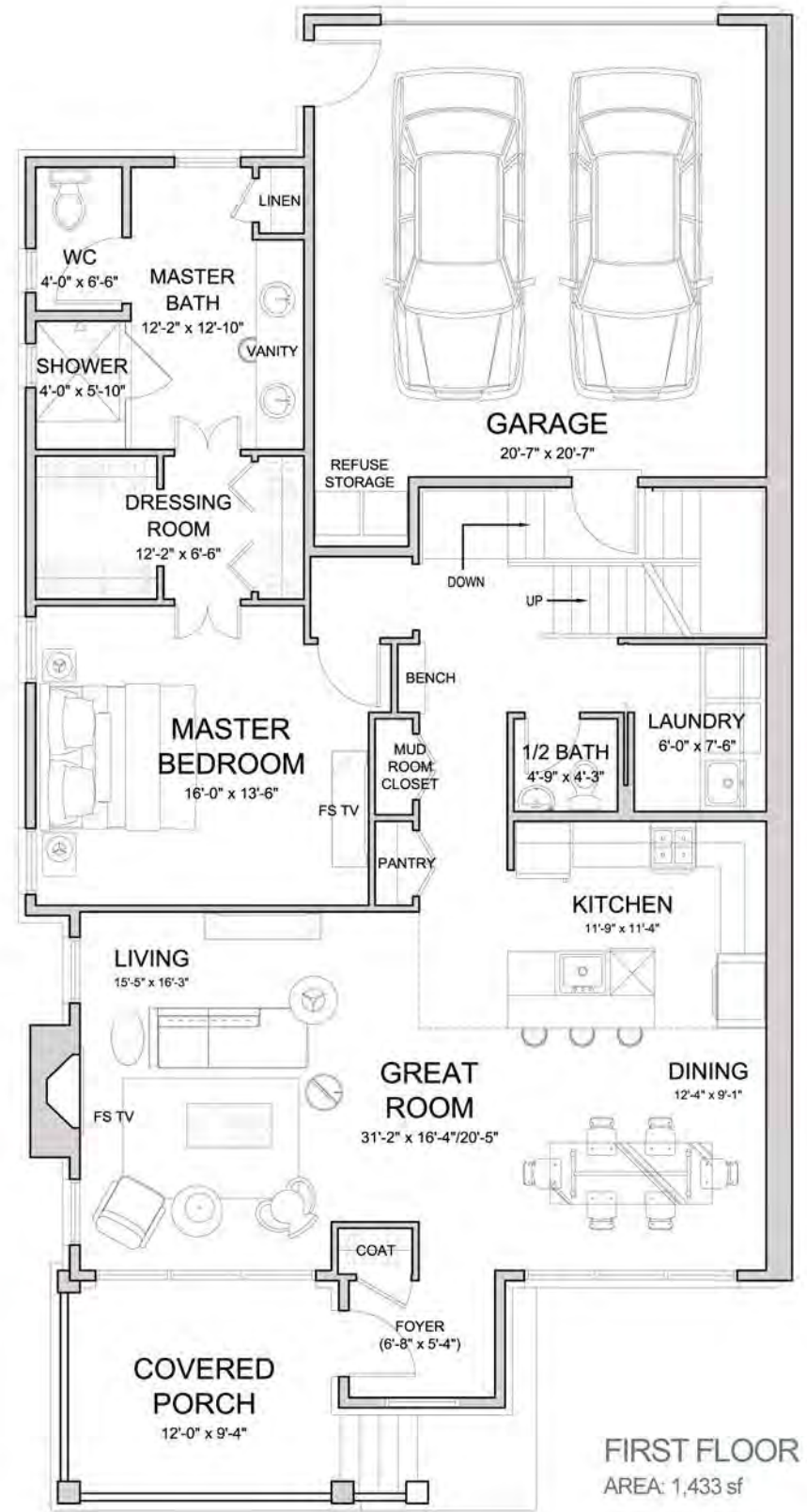
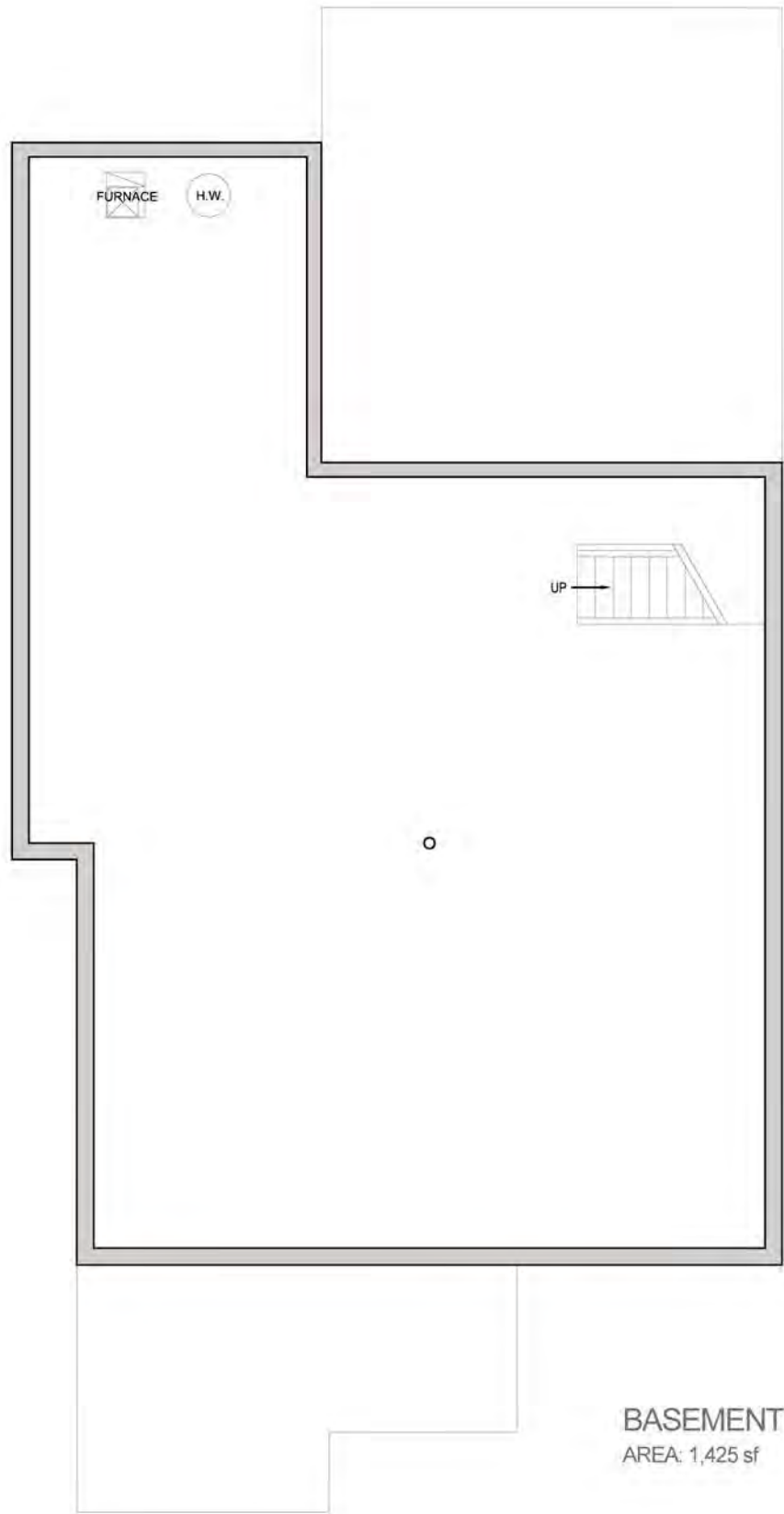
The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | SITE PLAN

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.

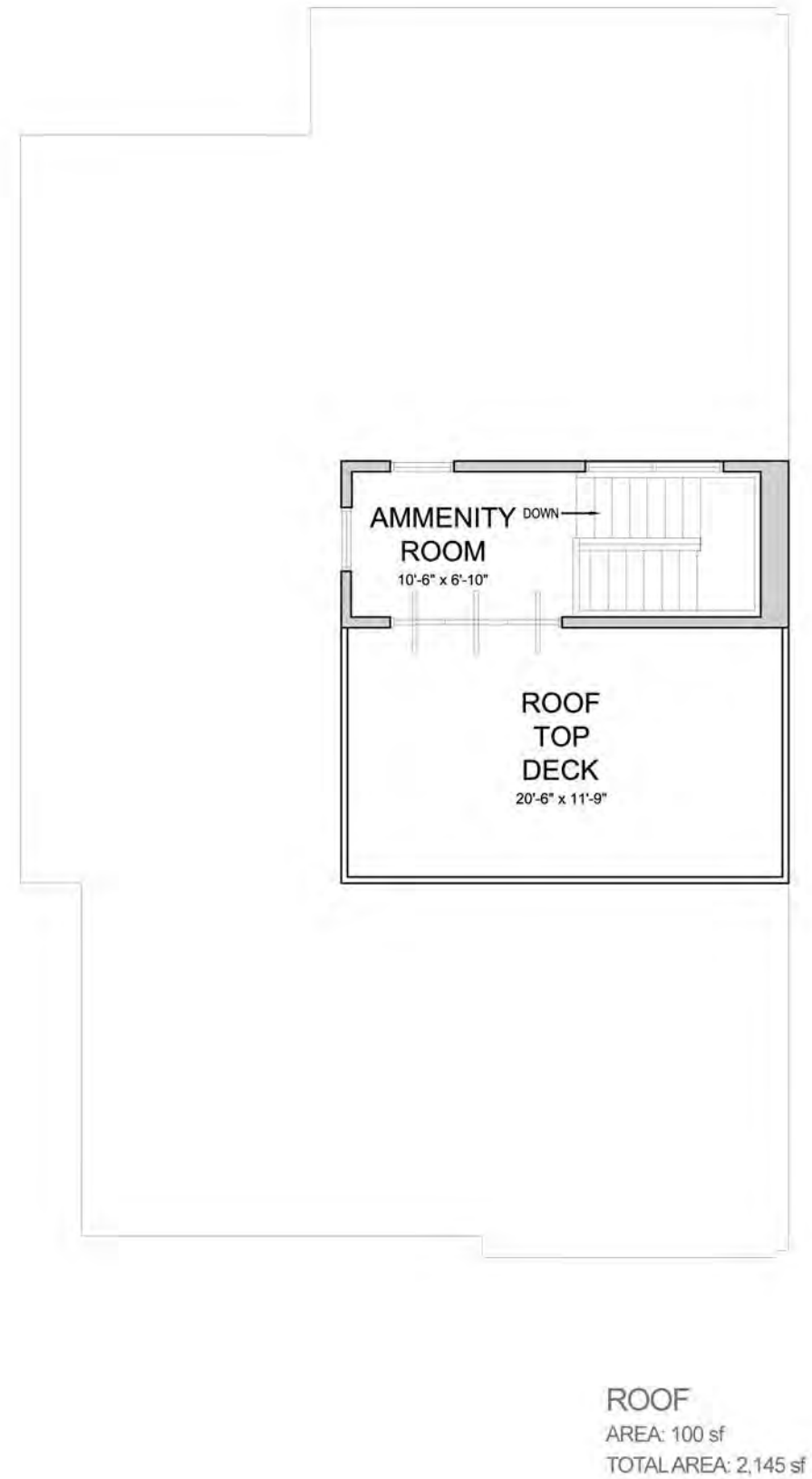


SCALE: 1/8" = 1'-0"

2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | FLOOR PLANS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.

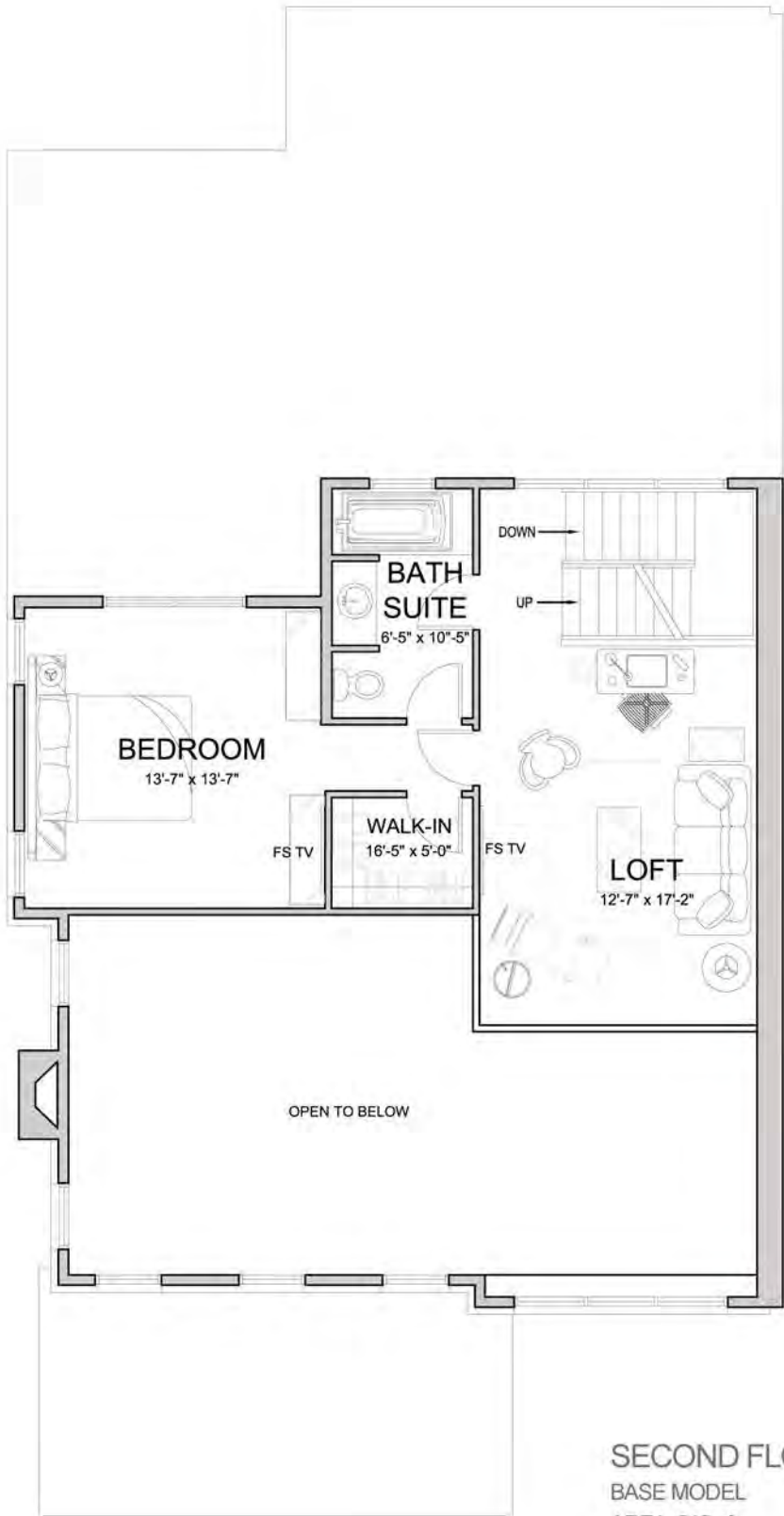


SCALE: 1/8" = 1'-0"

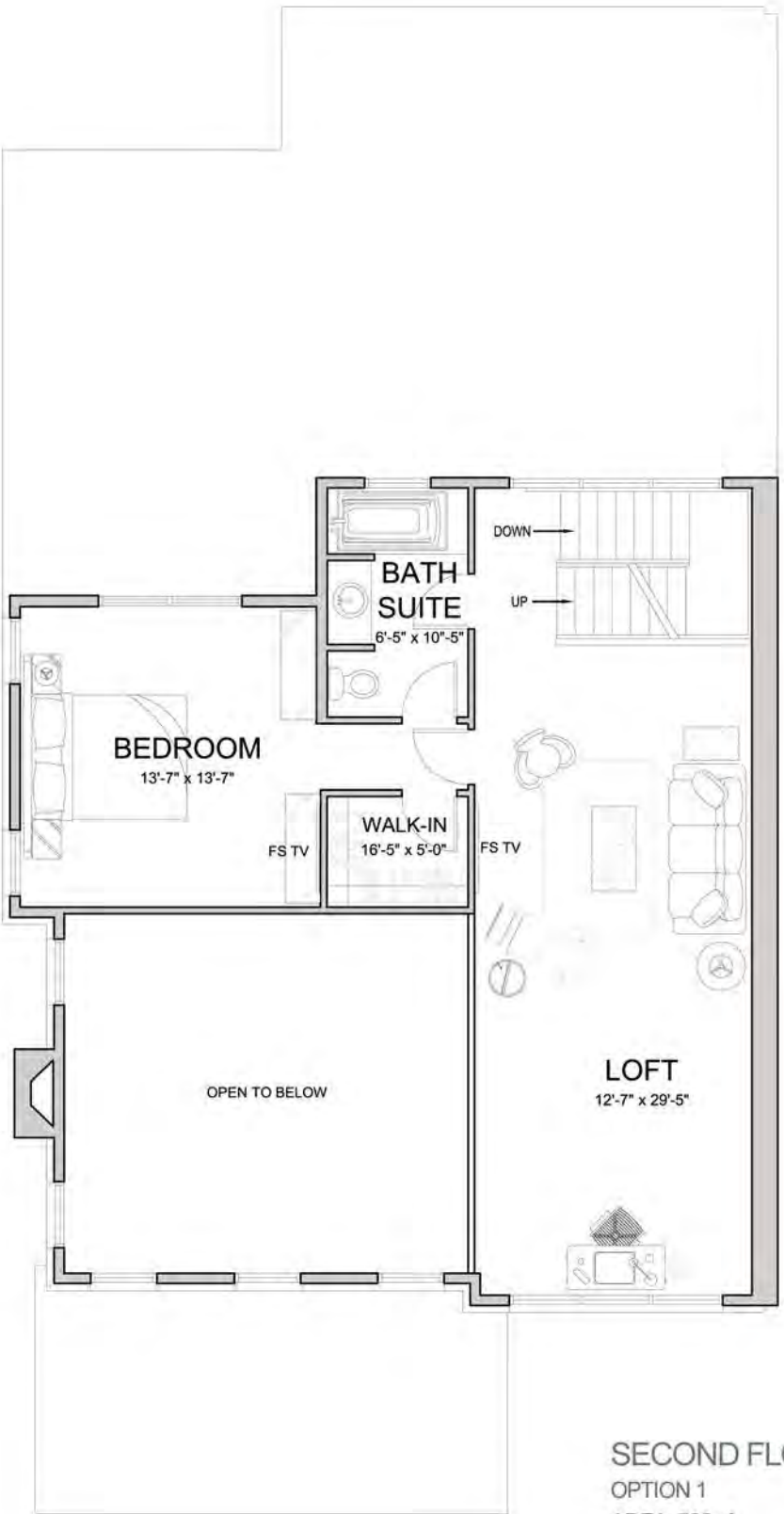
2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | FLOOR PLANS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



SECOND FLOOR
BASE MODEL
AREA: 612 sf
TOTAL AREA: 2,145 sf



SECOND FLOOR
OPTION 1
AREA: 780 sf
TOTAL AREA: 2,314 sf

SCALE: 1/8" = 1'-0"

2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | FLOOR PLANS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.



SECOND FLOOR
OPTION 2
AREA: 780 sf
TOTAL AREA: 2,314 sf



SECOND FLOOR
OPTION 3
AREA: 1,110 sf
TOTAL AREA: 2,643 sf

SCALE: 1/8" = 1'-0"

2022.07.11 RDLA21171P

FAIRLINGTON HEIGHTS | UPPER ARLINGTON | FLOOR PLANS

The drawings, specifications, ideas, design and arrangements represented thereby are and shall remain the property of the architect. No part of shall be copied, disclosed to others or used in conjunction with any work or project other than the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site, and this office must be notified of any variations from the dimensions and conditions shown by these drawings.

REZONING PLANS FOR

FAIRLINGTON HEIGHTS

FAIRLINGTON DRIVE AND FISHINGER ROAD
COLUMBUS, OH 43221

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE REDEVELOPMENT OF THREE SINGLE FAMILY PROPERTIES INTO ONE MULTI-FAMILY COMMUNITY. THE INDIVIDUAL MULTI-FAMILY RESIDENCES WILL INCLUDE GARAGES, AND THE SITE WILL HAVE VISITOR PARKING, DRIVE AISLES, AND LANDSCAPING WITH ACCESS CONNECTIONS TO FISHINGER ROAD AND FAIRLINGTON DRIVE. A NEW STORM SEWER SYSTEM WILL COLLECT RAINFALL RUNOFF AND DIRECT IT TO A NEW UNDERGROUND DETENTION BASIN, WHICH WILL ULTIMATELY DISCHARGE TO AN EXISTING STORM SEWER IN FAIRLINGTON DRIVE. A PRIVATE WATER SERVICE AND SANITARY SEWER SERVICE WILL BE EXTENDED INTO THE DEVELOPMENT AND PROVIDE INDIVIDUAL WATER AND SEWER LEADS TO EACH RESIDENCE.

BENCH MARKS

ALL BENCH MARKS AND ELEVATIONS SHOWN UPON THIS PLAN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL CONTROLS ARE TIED TO GPS OBSERVATIONS USING THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION VRS SYSTEM, BASED ON THE STATE PLANE COORDINATE SYSTEM, OHIO SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, ALSO KNOWN AS NAD83.

B.M. #1
CHISELED "X" ON FIRE HYDRANT
ELEVATION 802.13

B.M. #2
CHISELED "X" ON FIRE HYDRANT
ELEVATION 805.01

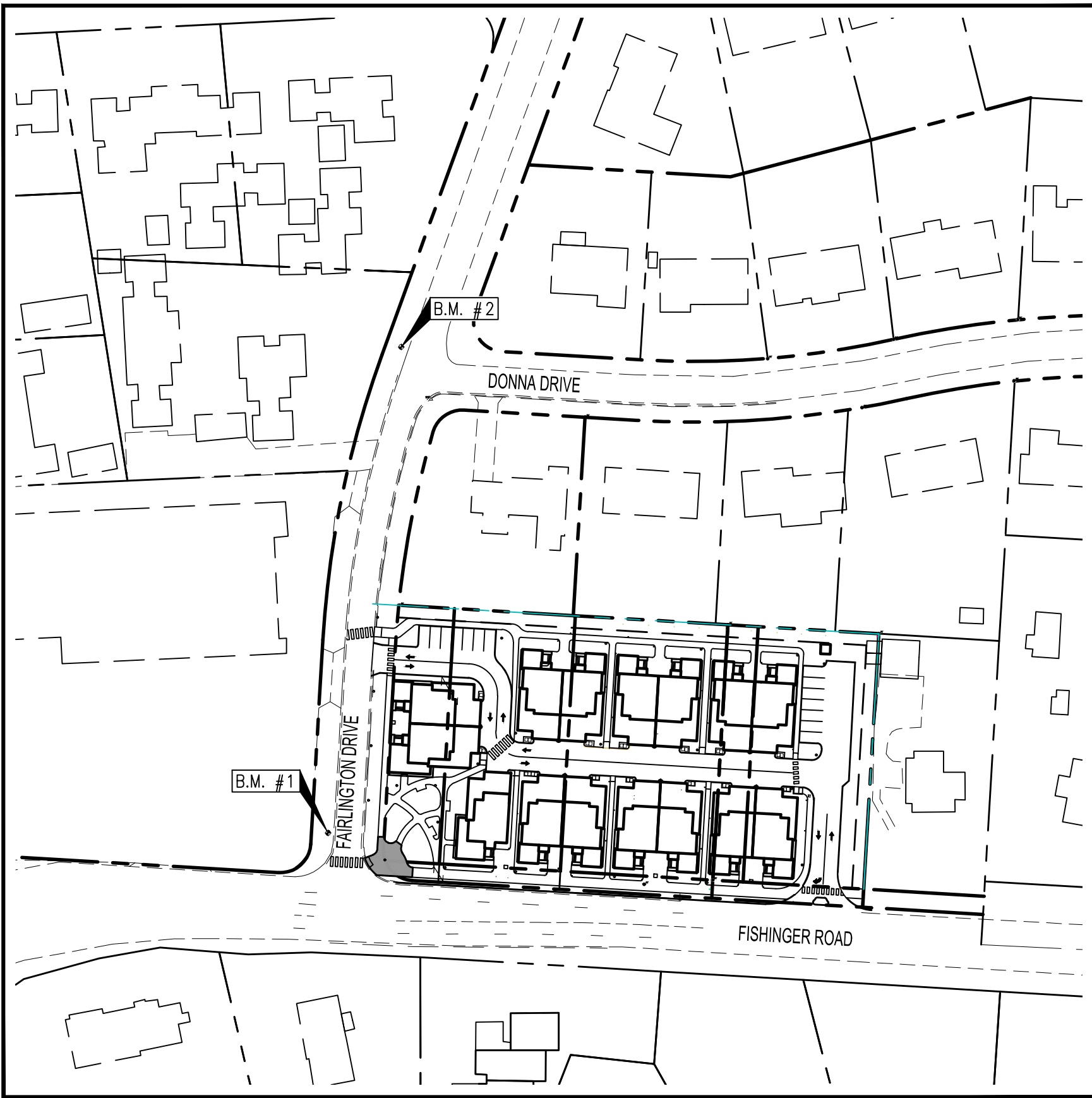
NATURAL FEATURES STATEMENT

THE NATURAL WETLANDS INVENTORY INDICATES NO REGULATED WETLANDS ON THE SUBJECT PROPERTIES. THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD HAZARD ZONE PER THE NFIP FLOOD INSURANCE MAP 39049C0164K, EFFECTIVE JUNE 17, 2008.

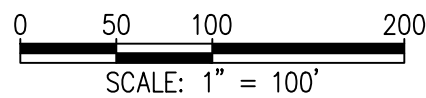
TRIP GENERATION STATEMENT

FOR THE PROPOSED LAND USE, TRIP GENERATION WAS ESTIMATED USING STANDARD RATES PUBLISHED BY THE INSTITUTE OF TRANSPORTATION ENGINEERS IN THE TRIP GENERATION MANUAL, 10TH EDITION, UTILIZING LAND USE 220, MULTI-FAMILY HOUSING (LOW RISE). LAND USE 220 INCLUDES TOWNHOUSES AND CONDOMINIUMS THAT ARE ATTACHED TO OTHER DWELLING UNITS THAT EACH HAVE ONE OR TWO LEVELS. A SUMMARY OF THE ESTIMATED TRIP GENERATION DURING WEEKDAY AM AND PM PEAK HOURS OF ADJACENT STREET TRAFFIC ARE PROVIDED BELOW.

LAND USE	UNITS	WEEKDAY AM PEAK HOUR (ADJACENT STREET TRAFFIC)				WEEKDAY PM PEAK HOUR (ADJACENT STREET TRAFFIC)			
		TRIP RATE	TRIPS	IN	OUT	TRIP RATE	TRIPS	IN	OUT
220 MULTI-FAMILY HOUSING (LOW RISE)	15	0.51	8	2	6	0.69	11	7	4
				23%	77%			63%	33%



INDEX MAP



DEVELOPER

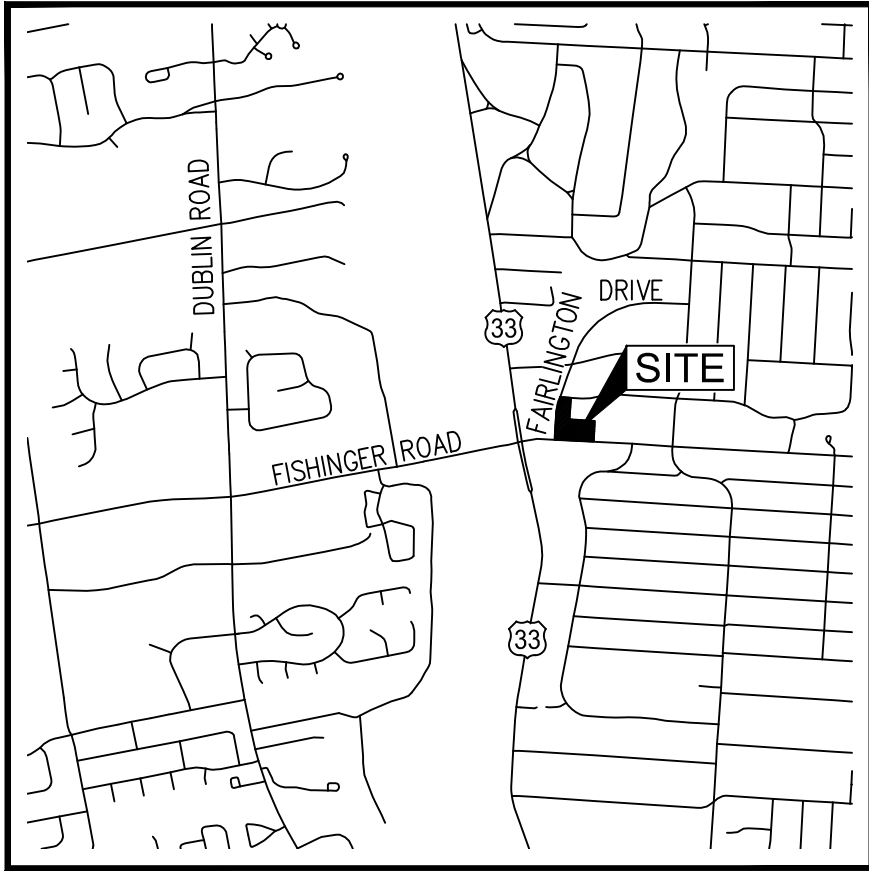
MOMENT DEVELOPMENT
800 NORTH HIGH STREET
COLUMBUS, OH 43215
CONTACT: OHM PATEL
PHONE: (614) 940-9101

DESIGN CONSULTANT

THE MANNIK & SMITH GROUP, INC.
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 43215
CONTACT: KYLE WRENTMORE
PHONE: (614) 441-4222

INDEX OF SHEETS

COVER SHEET	C000
GENERAL NOTES	C001
GENERAL NOTES AND DETAILS	C002
EXISTING CONDITIONS PLAN	C100
DEMOLITION PLAN	C101
SITE PLAN	C200
UTILITY PLAN	C300
PHOTOMETRIC PLAN	C400
LANDSCAPE PLAN	L100-L101



VICINITY MAP

NOT TO SCALE

GENERAL ZONING INFORMATION

ZONING	EXISTING	PROPOSED
	R-1B	RCD
ADJACENT ZONING	R-1B	R-1B
SITE AREA	1.92 AC	1.92 AC
RESIDENTIAL SITE AREA	1.92 AC	1.92 AC
NUMBER OF UNITS	SINGLE FAMILY 3	MULTI-FAMILY 15
TOTAL BUILDING AREA	5,875 SF	28,890 SF
SITE DENSITY	1.6 UNITS PER ACRE	7.8 UNITS PER ACRE
SITE INTENSITY	7.0% COVERAGE	35.0% COVERAGE
FRONT SETBACKS		VARIES
SIDE AND REAR SETBACKS		10 FT
GUEST PARKING		14
GARAGE PARKING (2/UNIT)		30



TECHNICAL SKILL.
CREATIVE SPIRIT.

MICHAEL J. MCAVOY
REGISTERED PROFESSIONAL ENGINEER

DATE	BY	REVISION DESCRIPTION	PROJECT DATE 06/11/2022
			PROJECT NO. M5870006
			C000

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. THE CURRENT CITY OF UPPER ARLINGTON STANDARDS AND SPECIFICATIONS AS WELL AS THOSE OF THE CITY OF COLUMBUS, AS APPLICABLE, SHALL GOVERN THE MATERIALS AND WORKMANSHIP INVOLVED IN THE IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND PER ALL CITY REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO THE CITY AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH THE CITY.
- ALL CURB, RAMPS, SIDEWALKS, AND PARKING AREAS REQUIRED FOR ACCESSIBILITY SHALL SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- THE PRICE(S) QUOTED SHALL INCLUDE ALL ITEMS OF LABOR, MATERIALS, TOOLS, EQUIPMENT, INSURANCE AND OTHER COSTS NECESSARY TO FULLY COMPLETE THE WORK PURSUANT TO THE CONTRACT DOCUMENTS. IT IS THE INTENTION OF THE CONTRACT DOCUMENTS TO PROVIDE AND REQUIRE A COMPLETED WORK PROJECT READY FOR OPERATION. ANY WORK ITEMS OMITTED FROM SUCH CONTRACT DOCUMENTS WHICH ARE CLEARLY NECESSARY FOR THE COMPLETION OF SUCH WORK AND ITS APPURTENANCES SHALL BE CONSIDERED A PART OF SUCH WORK ALTHOUGH NOT DIRECTLY SPECIFIED OR CALLED FOR IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY AND NOTIFY NEIGHBORING AFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL MUNICIPALITY, AND STATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH ODOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM ODOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY

AND AT NO ADDITIONAL COST TO THE OWNER.

- ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY, LOCAL, AND/OR STATE DOT.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY REQUIREMENTS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.
- ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CONTRACTOR WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFINE THEIR ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS, AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING CITY REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL PREVAIL.
- FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

OHIO EPA NOTES:

- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
- ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
- MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
- USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE THE SWPPP PLAN, NOTES AND DETAILS.
- THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.
- ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL BE REPAIRED.
- ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.
- CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.

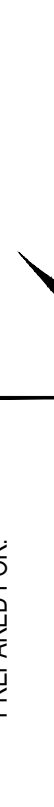
LAYOUT AND PAVING NOTES

- THE CONTRACTOR SHALL MAKE THEIR OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.
- THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF OHIO AT THE COMPLETION OF THE PROJECT.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
- ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- DO NOT PLACE MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS OCCURRING.
- DO NOT PLACE MIX WHEN AIR OR SURFACE TEMPERATURE IS BELOW THE FOLLOWING:
1) BINDER COURSE AND WALKS – 40° F
2) WEARING COURSE, ROADWAYS AND PARKING AREAS – 50° F
- ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250° F SHALL NOT BE USED.
- THE MINIMUM ROLLER WEIGHT FOR PAVEMENT SHALL BE TEN (10) TON. ALL COURSES SHALL BE COMPACTED TO A MINIMUM OF NINETY-THREE (93%) PERCENT OF THEORETICAL MAXIMUM DENSITY (TMD).
- ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHOULD BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50° F MINIMUM. APPLY TWO (2) COATS.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
- A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN.
- CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE.
- ALL CONCRETE SHALL BE 6% (+/-1½%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
- ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
- BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED. SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY PER CITY OF UPPER ARLINGTON STANDARDS.
- ALL CURB RADIi ARE 4', UNLESS OTHERWISE NOTED. FOR CURBED ISLANDS SHOWN WITH ONE LABELED RADIUS, THE LABELED RADIUS SHALL APPLY TO ALL FOUR CORNERS OF THE ISLAND.
- ALL CONCRETE FOR CURBS SHALL BE AIR ENTRAINED TO BE 6% (+/-1½%), MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL CONFORM TO A TWENTY EIGHT (28) DAY STRENGTH OF 4,500 PSI MINIMUM, SHALL HAVE A MAXIMUM W/C OF 0.40 AND 130 LBS/LF.
- CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE APPROVED SITE PLANS AND APPROPRIATE STATE DOT SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADII LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN AGGREGATE.
- CONTRACTOR SHALL REPAIR ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES.
- ALL CURBS SHALL BE FULL DEPTH CONCRETE CURB WITH 6" REVEAL, UNLESS OTHERWISE NOTED.
- BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.
- CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.

- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- CLEAN HARD FILL MATERIAL SHALL MEET THE REQUIREMENTS OF OAC 3745-4000-05 AND ALL REQUIREMENTS OF THE OHIO EPA. ANY PERSON USING CLEAN HARD FILL ON A SITE OTHER THAN THE SITE OF GENERATION MUST PROVIDE A WRITTEN NOTICE OF INTENT TO FILL TO THE LICENSING AUTHORITY(IES) WHERE THE CLEAN HARD FILL IS TO BE PLACED AT LEAST SEVEN DAYS PRIOR TO PLACING.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
- THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
- ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 671 TYPE F.
- ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE ENGINEER, OR THEIR REPRESENTATIVE, WILL PREVAIL.
- PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ITEM 203.12 OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAVING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE CONTRACTOR.

C001	GENERAL NOTES	REZONING PLANS FOR FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221	PREPARED FOR: MOMENT DEVELOPMENT 800 NORTH-HIGH STREET SUITE 03-108 COLUMBUS, OH 43215	 TECHNICAL SKILL, CREATIVE SPIRIT. www.MannikSmithGroup.com	1160 DUBLIN ROAD	NO.	DATE	BY	DESCRIPTION
					SUITE 100				
					COLUMBUS, OH 43215				
					TEL: 614.441.4222				
					FAX: 888.688.7340				
					PROJECT DATE: 5/6/2022				
					PROJECT NO: MS870006				
					DRAWN BY: KJM				
					CHECKED BY: NMM				

V:\Projects\Projects\K-04587006\CAD\SHEETS\REZONING\MSR0006_02_GENERAL NOTES.dwg, Last saved: 5/27/2022 4:34 PM by: abnrg, plotted: 7/11/2022 4:29 PM

GENERAL UTILITY NOTES:

1.

PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
2.

THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
3.

THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
4.

RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
5.

ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE OHIO ENVIRONMENTAL PROTECTION AGENCY, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
6.

THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
7.

ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNIOPALITY AND THE DETAILS CONTAINED HEREIN.
8.

ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
9.

SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASEMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
10.

THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
11.

CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
12.

CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
13.

UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
14.

ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNIOPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
15.

MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE. ALL TOP OF CASTING ELEVATIONS SHOWN IN THE PLANS FOR CURB INLETS ARE AT THE TOP OF CURB.
16.

THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CONSTRUCTION MANAGER AND IF ALLOWED BY THE CITY AND/OR COUNTY ENGINEERS.
17.

THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR PLUMBING.
18.

IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
19.

REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
20.

CONTRACTOR TO SEE MEP SITE PLAN FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION.
21.

ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH CITY STANDARDS AND REGULATIONS. THE CITY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
22.

PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE CITY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
23.

THE LOCATION, SIZE, AND DEPTH OF THE EXISTING SANITARY LATERAL OR MAIN SHALL BE VERIFIED IN THE FIELD IN THE PRESENCE OF THE CITY INSPECTOR. THE SLOPE OF THE LATERAL TO THE BUILDING WILL THEN BE DETERMINED. THE QTY MUST APPROVE THE TYPE AND LOCATION OF ANY CONNECTION PRIOR TO INSTALLATION. THE EXISTING SANITARY LATERAL SHALL BE TELEVIEWED PRIOR TO INSTALLATION OF ANY SANITARY SEWER SYSTEM COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IS THE EXISTING LATERAL IS NOT FOUND TO BE IN GOOD CONDITION.
24.

ALL BACK FLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S UTILITY DEPARTMENT.
25.

ALL FIRE SERVICE MAINS SHALL BE INSTALLED BY AN INDIVIDUAL WITH APPROPRIATE CERTIFICATION BY THE STATE OF OHIO.
26.

ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

27.

IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATER LINE TO CLEAR AN OBSTACLE AND THE DEFLECTION WILL BE GREATER THAN 18", THE USE OF BENDS WILL BE REQUIRED TO CLEAR THE OBSTACLE AND BRING THE WATER MAIN UP TO THE STANDARD FIVE (5) FEET OF COVER.
28.

CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.
29.

CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES WITH M.E.P. PLANS PRIOR TO START OF CONSTRUCTION.

STORM UTILITY NOTES

1.

CURB INLETS ARE TO BE ALIGNED WITH FACE OF CURBS.
2.

NORTHINGS AND EASTINGS FOR STORM STRUCTURES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE.
3.

ALL CATCH BASINS/MANHOLEs, UNLESS STATED OTHERWISE IN STRUCTURE SCHEDULE SHALL BE AS FOLLOWS OR APPROVED EQUAL:

3.1.

CURB INLETS: EAST JORDAN IRON WORKS 7045 WITH TYPE M1 SINUSODAL GRATE AND 7050 TI BACK. ALL CATCH BASINS SHOWN ADJACENT TO CURBS ARE TO BE CURB INLETS.

3.2.

CATCH BASINS IN CONCRETE PAVEMENT: EAST JORDAN IRON WORKS 5110 WITH TYPE M3 HEAVY DUTY SINUSODAL GRATE.

3.3.

CATCH BASINS IN ASPHALT PAVEMENT: EAST JORDAN IRON WORKS 5100 WITH TYPE M1 5105 GRATE.

3.4.

CATCH BASINS IN GRASS: EAST JORDAN IRON WORKS 6500 BEEHIVE DITCH GRATE.

3.5.

SANITARY SEWER MANHOLE: EAST JORDAN IRON WORKS 1040 HEAVY DUTY CASTING AND COVER WITH TYPE A SOLID COVER WITH "SANITARY SEWER" ON COVER.
4.

ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS.

4.1.

HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.

4.2.

POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.

4.3.

RE-INFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
5.

ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

SANITARY UTILITY NOTES

1.

SANITARY LATERAL SHALL BE A MINIMUM 6" DIAMETER OF PVC PIPE, ASTM D3034 SDR 26 WITH RUBBER GASKET JOINTS OR APPROVED EQUAL. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE, AND HAVE A MINIMUM OF 3 FT. COVER. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
2.

MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
3.

TEST FLEXIBLE PIPING FOR DEFLECTION THAT PREVENTS PASSAGE OF BALL OR CYLINDER OF SIZE NOT LESS THAN 95 PERCENT OF PIPING DIAMETER. DEFLECTION OF 5% SHALL NOT BE EXCEEDED.
4.

TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PERFORM AIR TESTS ON SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH UNI-B-6. TEST PLASTIC GRAVITY SEWER PIPING ACCORDING TO ASTM F 1417 AND CONCRETE GRAVITY SEWER PIPING ACCORDING TO ASTM C-924.
5.

PERFORM HYDRAULIC TEST IN MANHOLES ACCORDING TO ASTM C-969.

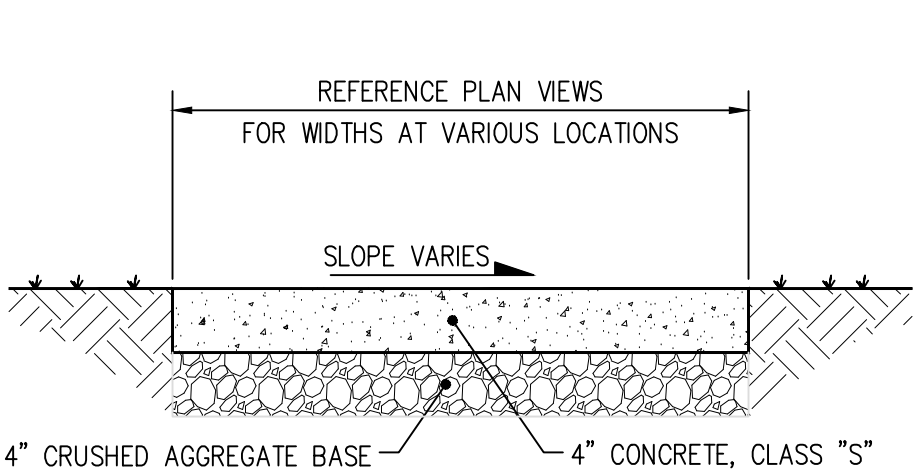
WATER UTILITY NOTES

1.

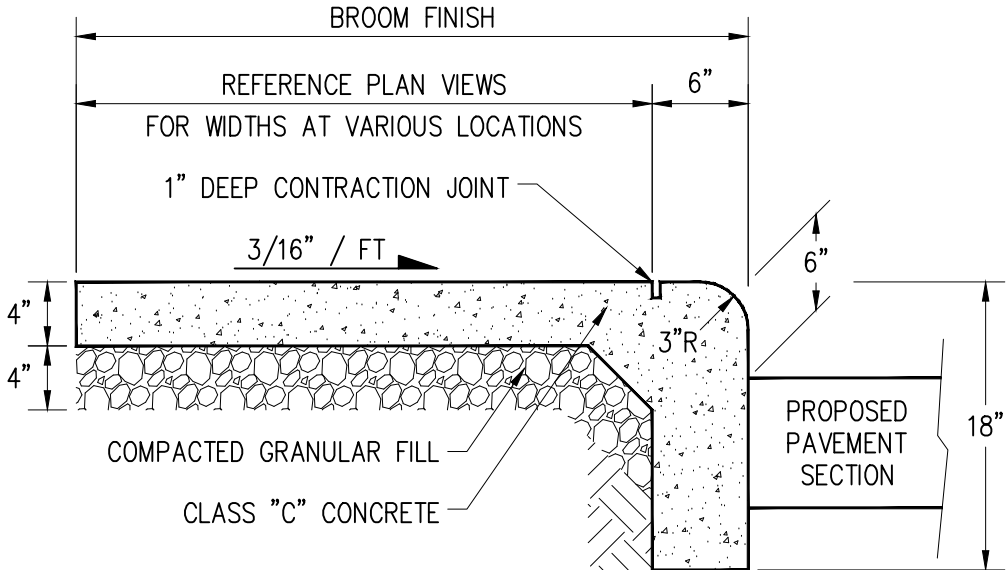
WATER MAIN SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AWWA STANDARD C900 FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE AND FABRICATED FITTINGS, 4-INCH, THROUGH 12-INCH, FOR WATER DISTRIBUTION, OR AWWA STANDARD C909 FOR MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVCO) PRESSURE PIPE, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION AND CLEARLY MARKED AS SUCH. PVC WATER PIPE SHALL BE CERTIFIED TO NSF INTERNATIONAL STANDARD NO. 61.
2.

WATER METER AND BACKFLOW PREVENTER TO BE INSTALLED WITHIN THE BUILDING. REFERENCE BUILDING PLANS FOR DETAIL.
3.

MINIMUM DEPTH OF WATER MAIN COVER SHALL BE FIVE (5) FEET BELOW FINISH GRADE.



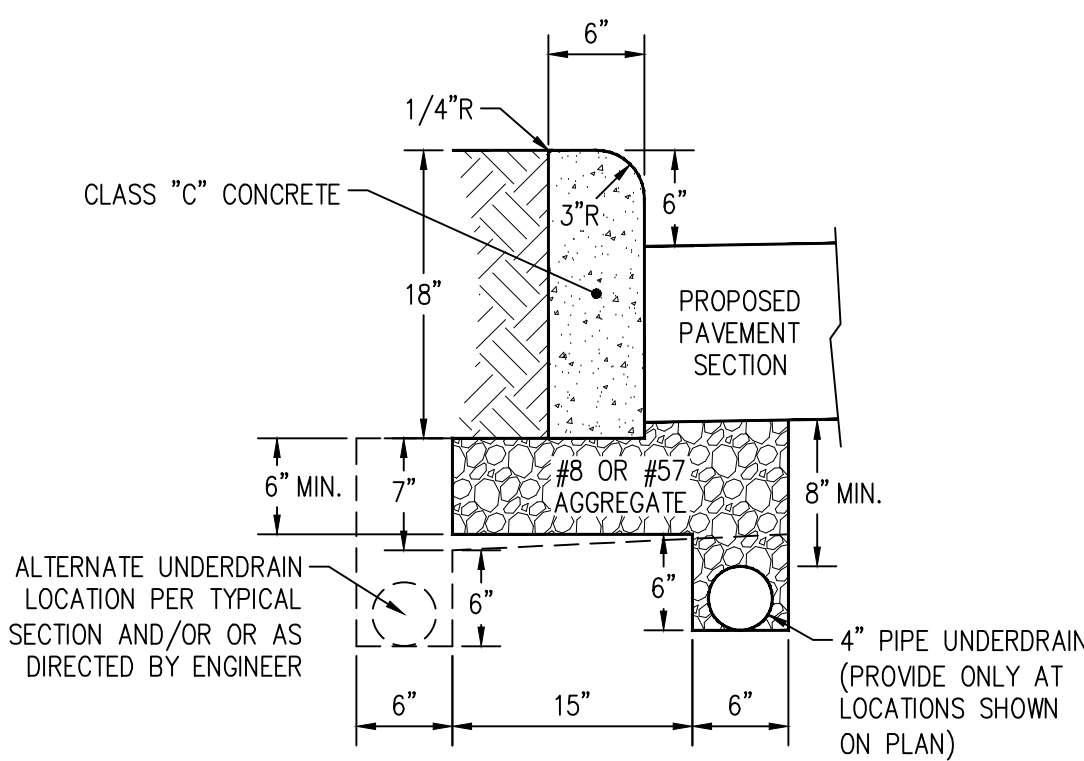
TYPICAL SIDEWALK SECTION
NOT TO SCALE




NOTE: SIDEWALK JOINTS SHALL BE EQUALLY SPACED UNLESS OTHERWISE DETAILED AS A PART OF THE BUILDING OR LANDSCAPE ARCHITECT PLANS.

OPTION: CONTRACTOR MAY POUR CURB AND WALK SEPARATELY. SEE DETAIL FOR 18" STRAIGHT CURB.

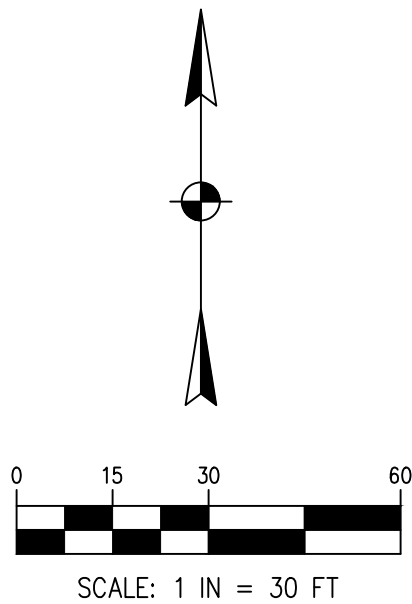
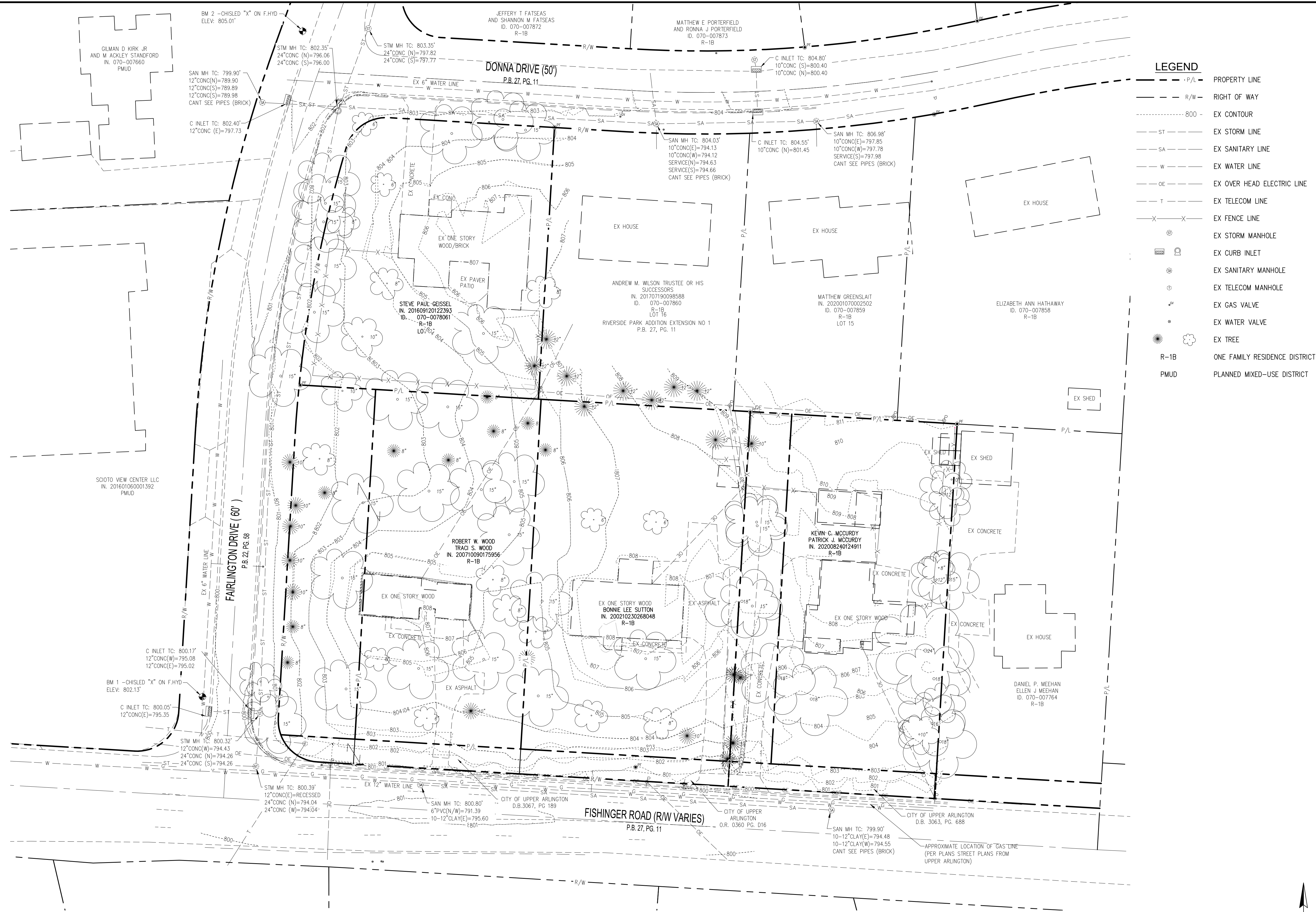
INTEGRAL WALK AND CURB
NOT TO SCALE



18" STRAIGHT CONCRETE CURB
NOT TO SCALE

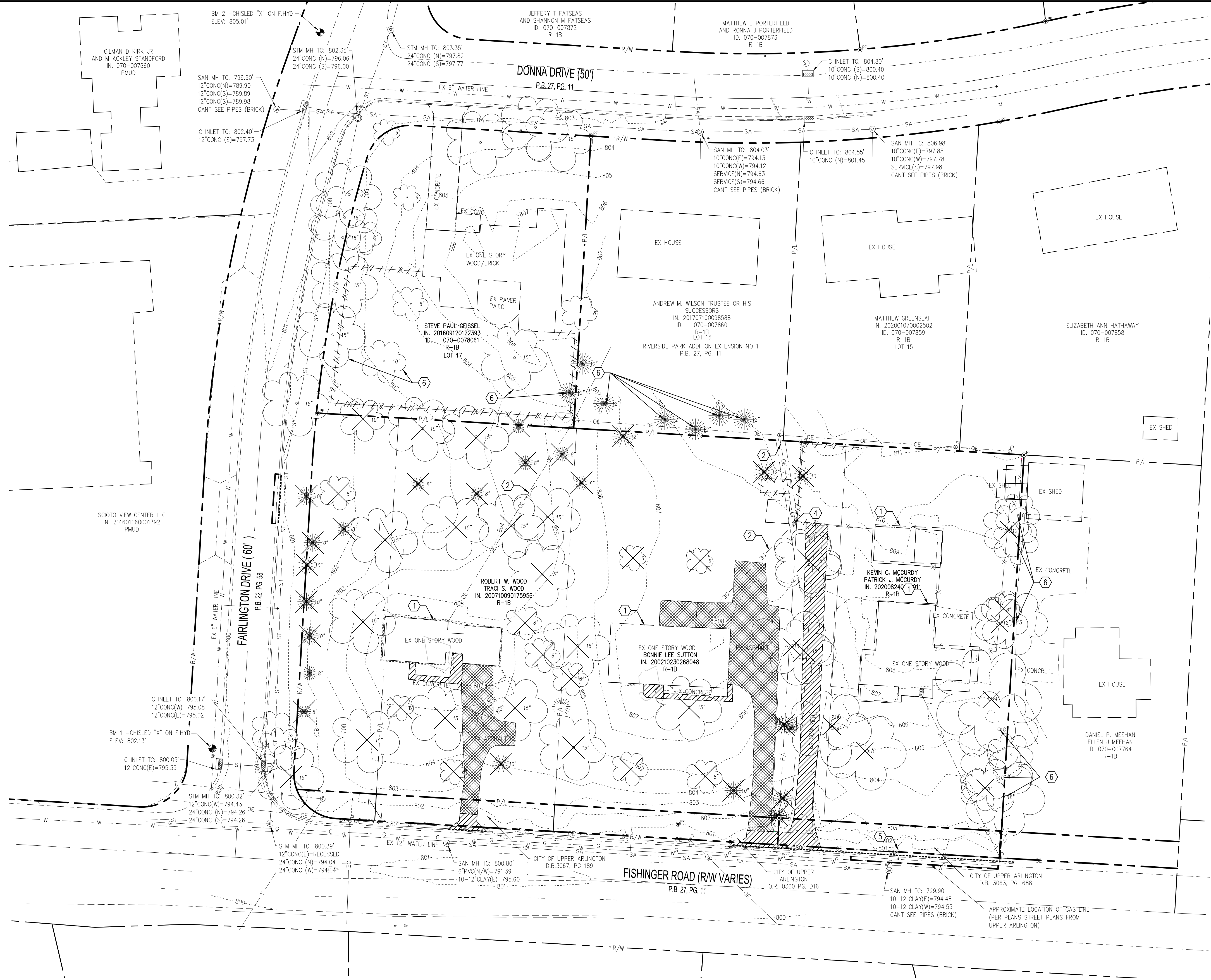
C002	GENERAL NOTES AND DETAILS	REZONING PLANS FOR FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221	PREPARED FOR MOMENT DEVELOPMENT 800 NORTH HIGH STREET SUITE 03-108 COLUMBUS, OH 43215	<div><p>Mannik Smith GROUP</p><p>TECHNICAL SKILL. CREATIVE SPIRIT.</p><p>www.MannikSmithGroup.com</p></div>		1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.488.7340	PROJECT NO: 46570006 DRAWN BY: KJW CHECKED BY: MMW	PROJECT DATE: 5/6/2022	NO.	DATE	BY	DESCRIPTION
------	---------------------------------	---	--	---	--	---	--	------------------------	-----	------	----	-------------

W:\Projects\Projects\K\04587006\CAD\SHETS\REZONING\006_03_EX.CON.dwg, Last saved: 5/6/2022 3:49 PM by: M\A\Ang, plotted: 7/11/2022 4:29 PM



DESCRIPTION		BY	DATE	NO.
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222				
PROJECT NO: 562022 DRAWN BY: MS87006 CHECKED BY: KJM				
TECHNICAL SKILL: CREATIVE SPIRIT.				
Mannik Smith Group www.MannikSmithGroup.com				
PREPARED FOR: MOMENT DEVELOPMENT 800 NORTH-HIGH STREET SUITE 03-108 COLUMBUS, OH 43215				
REZONING PLANS FOR FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221				
EXISTING CONDITIONS PLAN				
C100				

W:\Project\Projects\K\04587006\04587006\REZONING\04587006.DWG, DEMO.dwg, last saved: 7/6/2022 5:47 PM by K\kennetha, plotted: 7/11/2022 1:28 PM

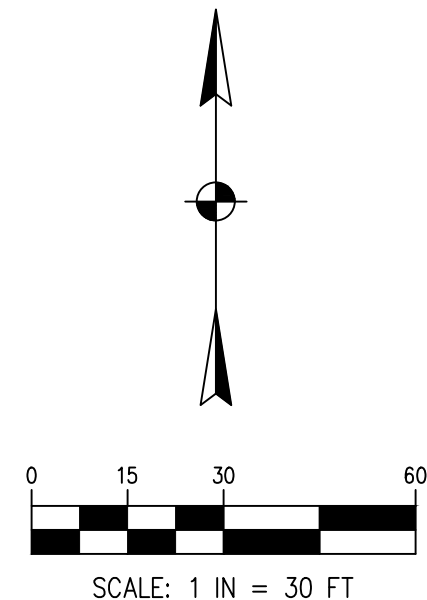


W:\Projects\Projects\K\04587006\06\04587006\REZONING\MSF0006_05_SITE PLAN.dwg Last saved: 7/11/2022 4:27 PM by K\Wmmore, plotted: 7/11/2022 4:30 PM



- LEGEND**
- P/L - PROPERTY LINE
 - R/W - RIGHT OF WAY
 - ST - EX STORM LINE
 - SA - EX SANITARY LINE
 - W - EX WATER LINE
 - OE - EX OVER HEAD ELECTRIC LINE
 - T - EX TELECOM LINE
 - ⊗ - EX STORM MANHOLE
 - ⊞ - EX CURB INLET
 - ⊙ - EX SANITARY MANHOLE
 - ⊕ - EX TELECOM MANHOLE
 - ⊖ - EX GAS VALVE
 - - EX WATER VALVE
 - ▨ - SIDEWALK
 - ⬡ - PARKING COUNT
 - x — x — x — FENCE LINE

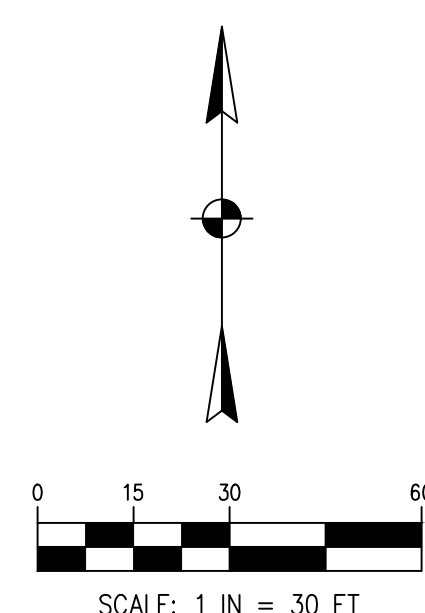
- CODED NOTES**
- ① 6" CURB
 - ② COMBINED CURB AND WALK
 - ③ PRIVACY FENCE
 - ④ BENCH SPACE
 - ⑤ LIGHT POLE (TYP.)
 - ⑥ LIGHTED BOLLARD (TYP.)
 - ⑦ 8' FENCE - TRANSITION TO 6' AND THEN TO 42" HEIGHT FOR LAST 15'
 - ⑧ CURB REPAIR AT EX DRIVEWAY
 - ⑨ MOUNTABLE CURB



NO.	DATE	BY	DESCRIPTION
1160 DUBLIN ROAD			
SUITE 100			
COLUMBUS, OH 43215			
TEL: 614.441.4222			
FAX: 888.688.7340			
PROJECT NO: 15870006	5/6/2022		
DRAWN BY: KJM			
CHECKED BY:			

TECHNICAL SKILL: CREATIVE SPIRIT:	Mannik Smith GROUP www.MannikSmithGroup.com

PREPARED FOR:	MOMENT DEVELOPMENT 800 NORTH-HIGH STREET SUITE 03-108 COLUMBUS, OH 43215
REZONING PLANS FOR	FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221
SITE PLAN	
C200	




CODED NOTES

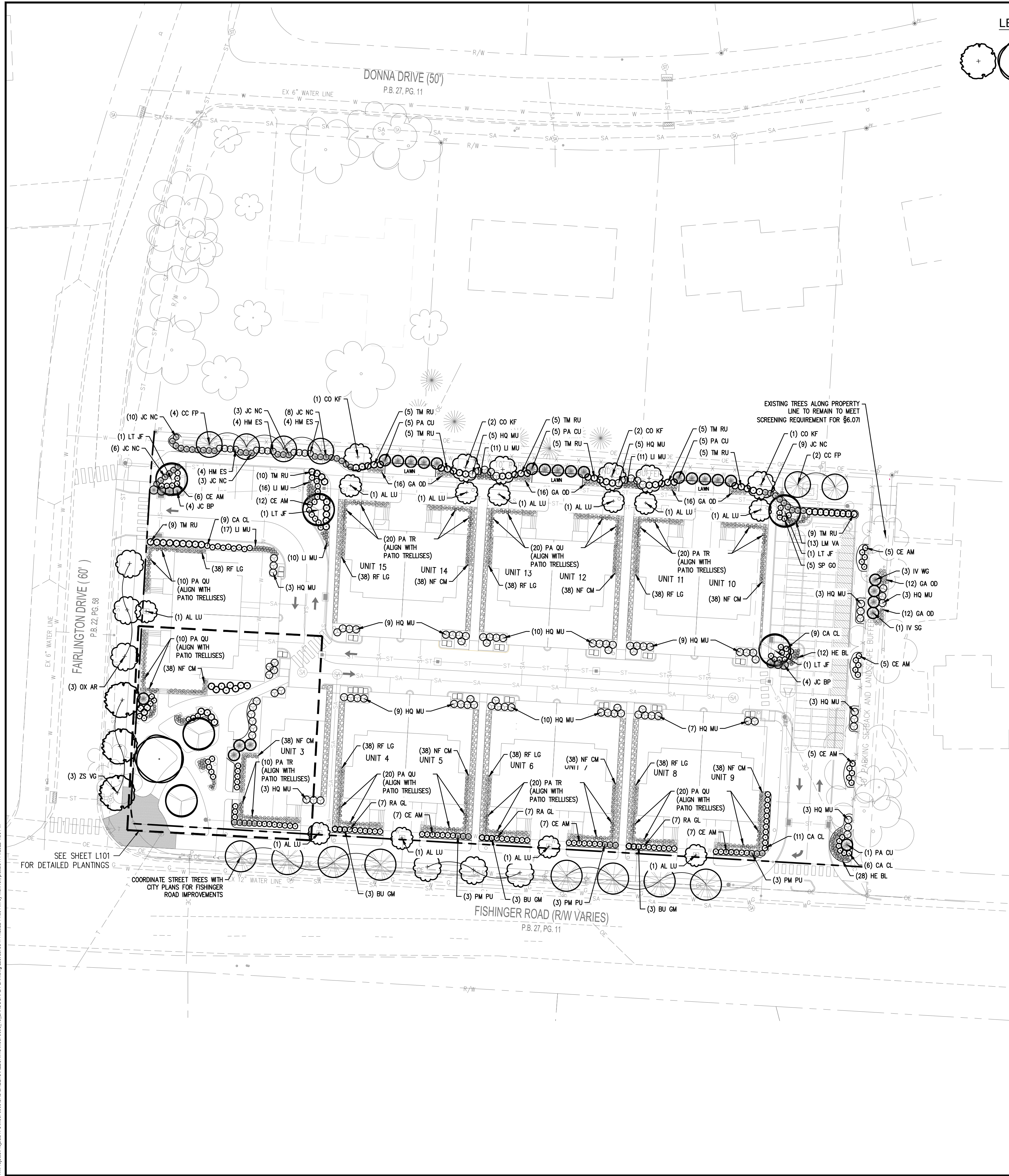
- ① PROPOSED UNDERGROUND DETENTION SYSTEM
- ② CONNECT TO EXISTING WATER MAIN AT EXISTING HYDRANT CONNECTION (RELOCATE HYDRANT ASSEMBLY)
- ③ PROPOSED HOT BOX ENCLOSURE WITH BACKFLOW PREVENTER AND WATER METER
- ④ PROPOSED RELOCATED FIRE HYDRANT
- ⑤ PROPOSED TRANSFORMER

NOTE

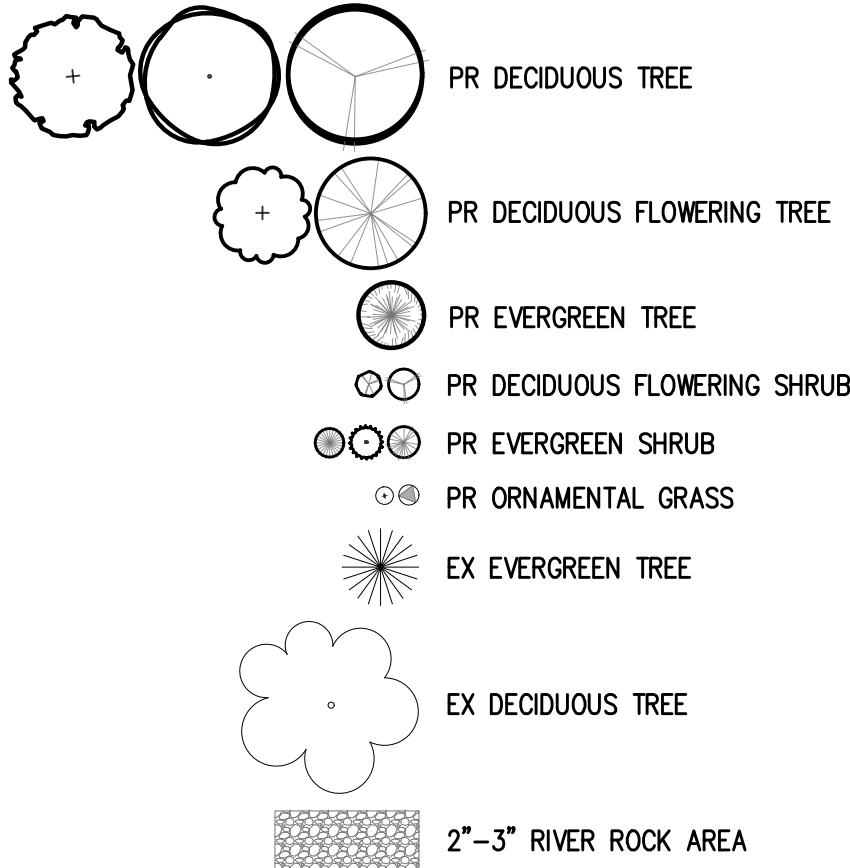
1. ALL STORM SEWER OUTSIDE OF RIGHT-OF-WAY IS PRIVATE AND TO BE MAINTAINED BY THE OWNER

C300	UTILITY PLAN	REZONING PLANS FOR FAIRLINGTON HEIGHTS	<p>MOMENT DEVELOPMENT</p> <p>800 NORTH HIGH STREET SUITE 03-108 COLUMBUS, OH 43215</p>	<p>1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.444.0272 FAX: 614.444.0270</p> <p>TECHNICAL SKILL: CREATIVE SPIRIT.</p>  <p>Mannik Smith GROUP</p> <p>www.MannikSmithGroup.com</p>	<p>NO. DATE BY</p> <p>PROJECT DATE: 5/6/2002</p> <p>PROJECT NO: M5870006</p> <p>DRAWN BY: KJM</p> <p>CHECKED BY: MJM</p>	DESCRIPTION
------	--------------	---	--	---	--	-------------

W:\Projects\Projects\K\04587006\04587006\REZONING\04587006_10_LANDSCAPE PLAN.dwg, Last saved: 7/11/2022 11:06 AM by mmmmm, plotted: 7/11/2022 4:30 PM



LEGEND



LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
UPPER ARLINGTON CODE OF ORDINANCES - RCD ZONING	
6.07E RECOMMENDED TREE LIST AND SIZES IN TABLE 6-J	PLANTS WITHIN DEVELOPMENT WILL FOLLOW STANDARDS SET FORTH IN TABLE 6-J
6.07F 1 TREE REQUIRED WITHIN R/W OF TYPE A OR B FOR EVERY 25' OF FRONTAGE. TREES CAN BE PLANTED IN SIDE OR REAR YARDS AS TYPE C OR D TREES	607' OF FRONTAGE ON FISHINGER BLVD AND FAIRLINGTON DR COMBINED 607/25=25 STREET TREES REQUIRED 17 PROVIDED WITH 8 TYPE C OR D TREES IN SIDE/REAR YARDS.
6.07G ALL BUILDING FACADES FRONTING ON A PUBLIC STREET OR PLAZA WHERE THE BUILDING IS MORE THAN 4' FROM THE SIDEWALK, SHALL HAVE CONTINUOUS FOUNDATION PLANTINGS CONSISTING OF TYPE G OR H PLANTS.	PROVIDED ALONG FISHINGER BLVD, FAIRLINGTON DR.
6.07I ANY PROPERTY WITHIN A MULTI-FAMILY RESIDENTIAL DISTRICT SHALL PROVIDE A 10' BUFFER INCLUDING THE FOLLOWING: 1 - FENCE OR WALL 6' IN HEIGHT (REDUCED TO 3.5' IN HEIGHT IN FRONT OF ADJACENT RESIDENCES). 2 - SCREENING CONSISTING OF 1 TYPE G OR H PLANT EVERY 3'. 3 - AT LEAST 1 A, B, C, OR D TYPE TREE EVERY 20' WITHIN THE LANDSCAPE BUFFER.	6' FENCE WITH TYPE G OR H PLANT EVERY 3' AND 1 TYPE A,B,C, OR D TREE EVERY 20' PROVIDED 372' OF FENCE ON NORTH SIDE= 19 TREES REQUIRED 27 TREES PROVIDED INCLUDING EXISTING AN ADDITIONAL 8 TREES TO MEET 6.07F 194' OF FENCE ON EAST SIDE = 10 TREES REQUIRED 7 EXISTING TREES ALONG PROPERTY LINE, 3 ADDITIONAL TREES PROPOSED
6.07J1 LANDSCAPE ISLAND REQUIRED EVERY 10 SPACES WITH A MINIMUM WIDTH OF 8' AND SHALL INCLUDE AT LEAST 1 TYPE A, B, OR C TREE WITH ADDITIONAL SHRUBBERY OR HEDGES	PARKING STALL RUNS LIMITED TO LESS THAN 10 SPACES. ISLANDS MEET MINIMUM 8' WIDTH AND ARE PLANTED WITH A TYPE A, B, OR C TREE WITH ADDITIONAL SHRUBBERY
6.07J2 INTERIOR LANDSCAPE REQUIRED AT A RATE OF 8% OF THE PARKING AREA	17,024 SF OF PARKING LOT X 8% = 1,362 SF REQUIRED 1,525 SF PROVIDED
6.07J4 MINIMUM BUFFER OF 10' REQUIRED BETWEEN A PARKING LOT AND R/W - BUFFER MUST CONSIST OF TYPE G PLANTS ALONG THE ENTIRE LENGTH PLUS 1 TYPE A TREE EVERY 20'	PROVIDED ADJACENT TO PARKING ALONG FAIRLINGTON

LANDSCAPE TREE LIST

ABRV.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
AL LU	AMELANCHIER LAEVIS 'LUSTRE'	LUSTRE SERVICEBERRY	7' HEIGHT	B&B (MULTI-STEM)	ORN. DEC. TREE
CC FP	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	7' HEIGHT	B&B	ORN. DEC. TREE
CO KF	CORNUS X 'KF111-1' PP #22,219	HYPERION DOGWOOD	7' HEIGHT	B&B	ORN. DEC. TREE
IV SG	ILEX VERTICILLATA 'SOUTHERN GENTLEMAN'	SOUTHERN GENTLEMAN WINTERBERRY	4' HEIGHT	CONTAINER	EVERGREEN TREE
IV WG	ILEX VERTICILLATA 'WINTER GOLD'	WINTER GOLD WINTERBERRY	4' HEIGHT	CONTAINER	EVERGREEN TREE
LT JF	LIRIODENDRON TULIPIFERA 'JFS-OZ'	EMERALD CITY TULIP TREE	2" CALIPER	B&B	DECIDUOUS TREE
OX AR	OXYDENDRUM ARBOREUM	SOURWOOD	2" CALIPER	B&B	DECIDUOUS TREE
PA CU	PICEA PUNGENS VAR. GLAUCA 'FASTIGIATA'	COLUMNAR NORWAY SPRUCE	7' HEIGHT	B&B	EVERGREEN TREE
QU AL	QUERCUS ALBA	WHITE OAK	3" CALIPER	B&B	DECIDUOUS TREE
ZS VG	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2" CALIPER	B&B	DECIDUOUS TREE

LANDSCAPE PLANT LIST

ABRV.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
BU GM	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	36" HEIGHT	CONTAINER	EVERGREEN SHRUB
CA CL	CARYOPTERIS X CLANDONESIS 'DARK KNIGHT'	DARK KNIGHT BLUEBEARD	24" HEIGHT	CONTAINER	DECIDUOUS SHRUB
CE AM	CEANOTHUS AMERICANUS	NEW JERSEY TEA	24" HEIGHT	CONTAINER	DECIDUOUS SHRUB
GA OD	GALIUM ODORATUM	SWEET WOODRUFF	12" SPREAD	CONTAINER	PERENNIAL GROUNDCOVER
HE BL	HEMEROCALLIS 'BELA LUGOSI'	BELA LUGOSI DAYLILY	18" HEIGHT	CONTAINER	FLOWERING PERENNIAL
HM ES	HYDRANGEA MACROPHYLLA 'BALMER'	ENDLESS SUMMER HYDRANGEA	24" HEIGHT	CONTAINER	DECIDUOUS SHRUB
HQ MU	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24" HEIGHT	CONTAINER	DECIDUOUS SHRUB
JC BP	JUNIPERUS CONFERTA 'BLUE PACIFIC'	BLUE PACIFIC SHORE JUNIPER	24" SPREAD	CONTAINER	EVERGREEN GROUNDCOVER
JC NC	JUNIPERUS CHINENSIS 'NICK'S COMPACT'	NICK'S COMPACT JUNIPER	24" HEIGHT	CONTAINER	EVERGREEN SHRUB
JH PC	JUNIPERUS HORIZONTALIS 'PLUMOSA COMPACTA'	PLUMOSA COMPACT ANDORRA JUNIPER	24" HEIGHT	CONTAINER	EVERGREEN SHRUB
LI MU	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	12" SPREAD	CONTAINER	ORNAMENTAL GRASS
LM VA	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	12" SPREAD	CONTAINER	ORNAMENTAL GRASS
RF LG	RUDBECKIA FULGIDA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLECK-EYED SUSAN	12" HEIGHT	CONTAINER	FLOWERING PERENNIAL
NF CM	NEPETA FAASENI 'CAT'S MEOW'	CAT'S MEOW CATMINT	12" HEIGHT	CONTAINER	FLOWERING PERENNIAL
PA TR	PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	18" SPREAD	CONTAINER	CLIMBING VINE
PA QU	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	18" SPREAD	CONTAINER	CLIMBING VINE
PM PU	PINUS MUGO VAR. PUMILIO	DWARF MUGO PINE	2 GALLON	CONTAINER	EVERGREEN SHRUB
RA GL	RHUS AROMATICA 'GRO LOW'	GRO LOW FRAGRANT SUMAC	2 GALLON	CONTAINER	DECIDUOUS SHRUB
SP GO	SPIREA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	24" HEIGHT	CONTAINER	DECIDUOUS SHRUB
TM RU	TAXUS X MEDIA 'RUNYAN'	RUNYAN YEW	36" HEIGHT	CONTAINER	EVERGREEN SHRUB

DESCRIPTION

BY

DATE

NO.

1160 DUBLIN ROAD
SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 688.688.7340

PROJECT DATE: 5/6/2022
PROJECT NO: MS870006
DRAWN BY: KJM
CHECKED BY: NMM

TECHNICAL SKILL:
CREATIVE SPIRIT.

www.MannikSmithGroup.com

PREPARED FOR:

MOMENT
DEVELOPMENT
800 NORTH-HIGH STREET
SUITE 03-108
COLUMBUS, OH 43215

REZONING PLANS FOR

FAIRLINGTON HEIGHTS

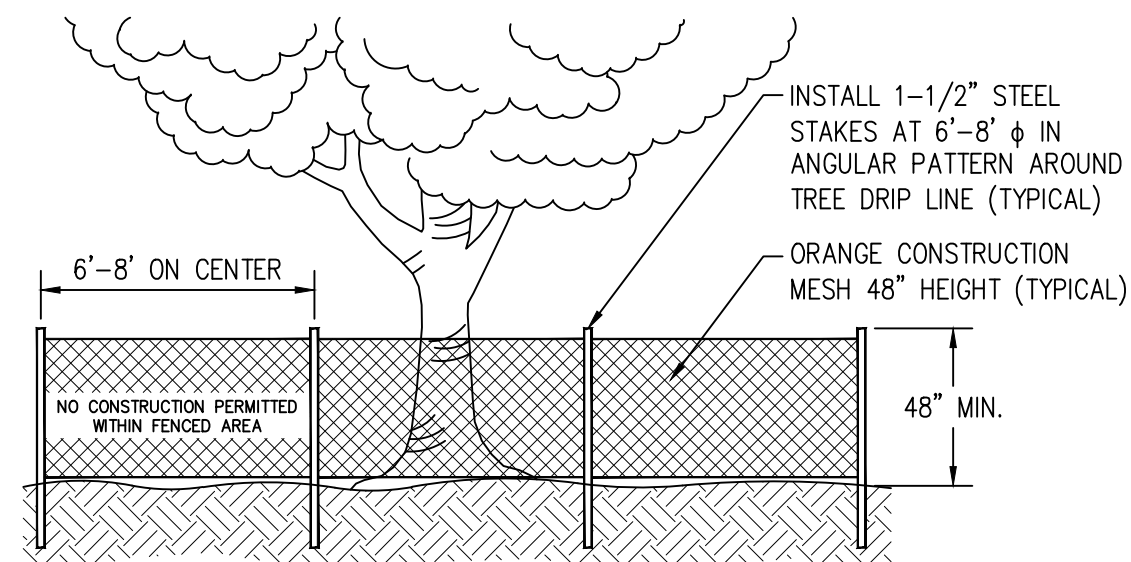
2770 FISHINGER RD., COLUMBUS OH 43221

LANDSCAPE
PLAN

L100

LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF ODOT CONSTRUCTION SPECIFICATIONS.
4. ALL PLANTING MATERIALS: SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS. ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING. TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
6. BACKFILL MIX. FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
A. ONE PART EXCAVATED SOIL.
B. ONE PART TOPSOIL.
C. ONE PART EPA RATED CLASS IV COMPOST.
D. A SLOW RELEASE COMMERCIAL FERTILIZER (0-20-20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.
- NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH. SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12-12-12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT. BEFORE FINAL INSPECTION, PLACE ALL PLANTS AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN:
ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18-24-12 OR EQUAL).
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUND COVER (SODDING, SEEDING AND SEED MULCHING):
ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE (ODOT LAWN BLEND):
KENTUCKY 31 TALL FESCUE 40%
PERENNIAL RYE 30%
KENTUCKY BLUEGRASS 30%

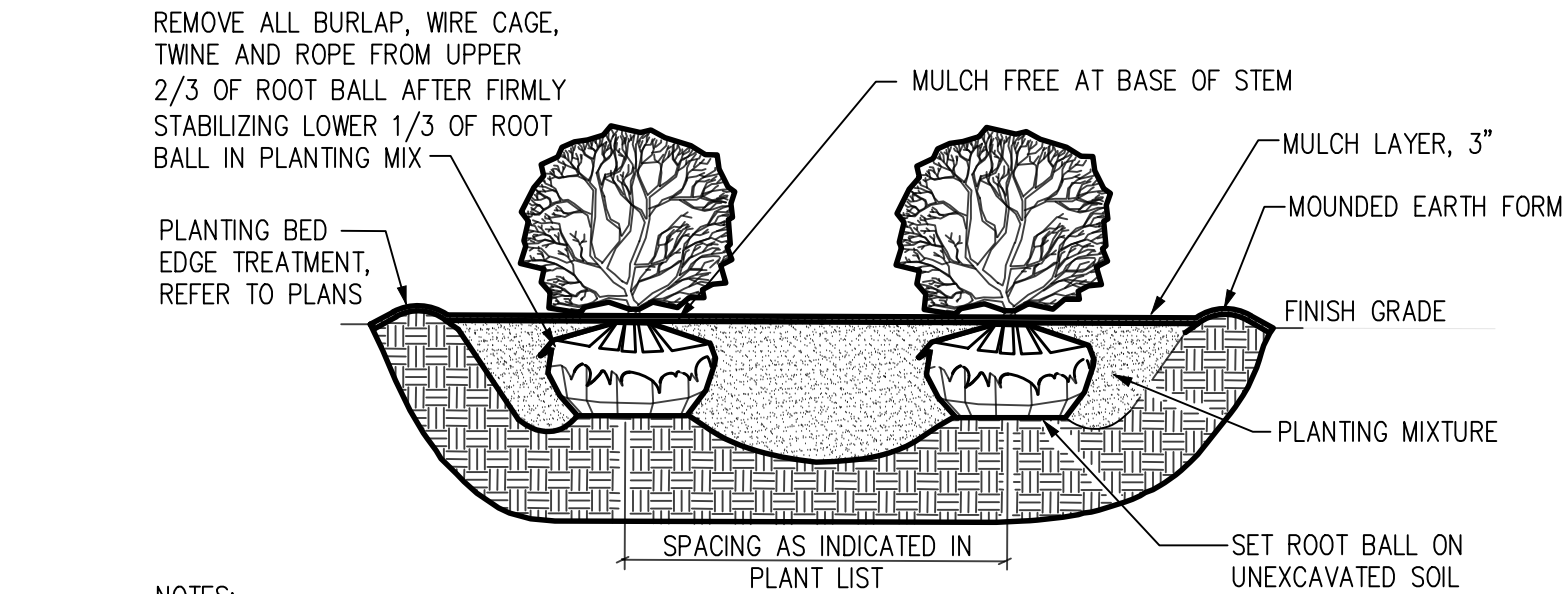


TREE PROTECTION DETAIL

NOT TO SCALE

TREE PROTECTION NOTES

1. TREE PROTECTION MEASURES SHALL BE INSTALLED PER THIS PLAN SHEET AT THE CRITICAL ROOT ZONE OF TREES TO BE PRESERVED PRIOR TO THE START OF ANY CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITY.
2. NO STORAGE OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH TOPSOIL WITHIN THE SAME DAY.
3. ALL VEGETATION THAT IS NOT DESIGNATED ON THE PLANS TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. TREES THAT ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



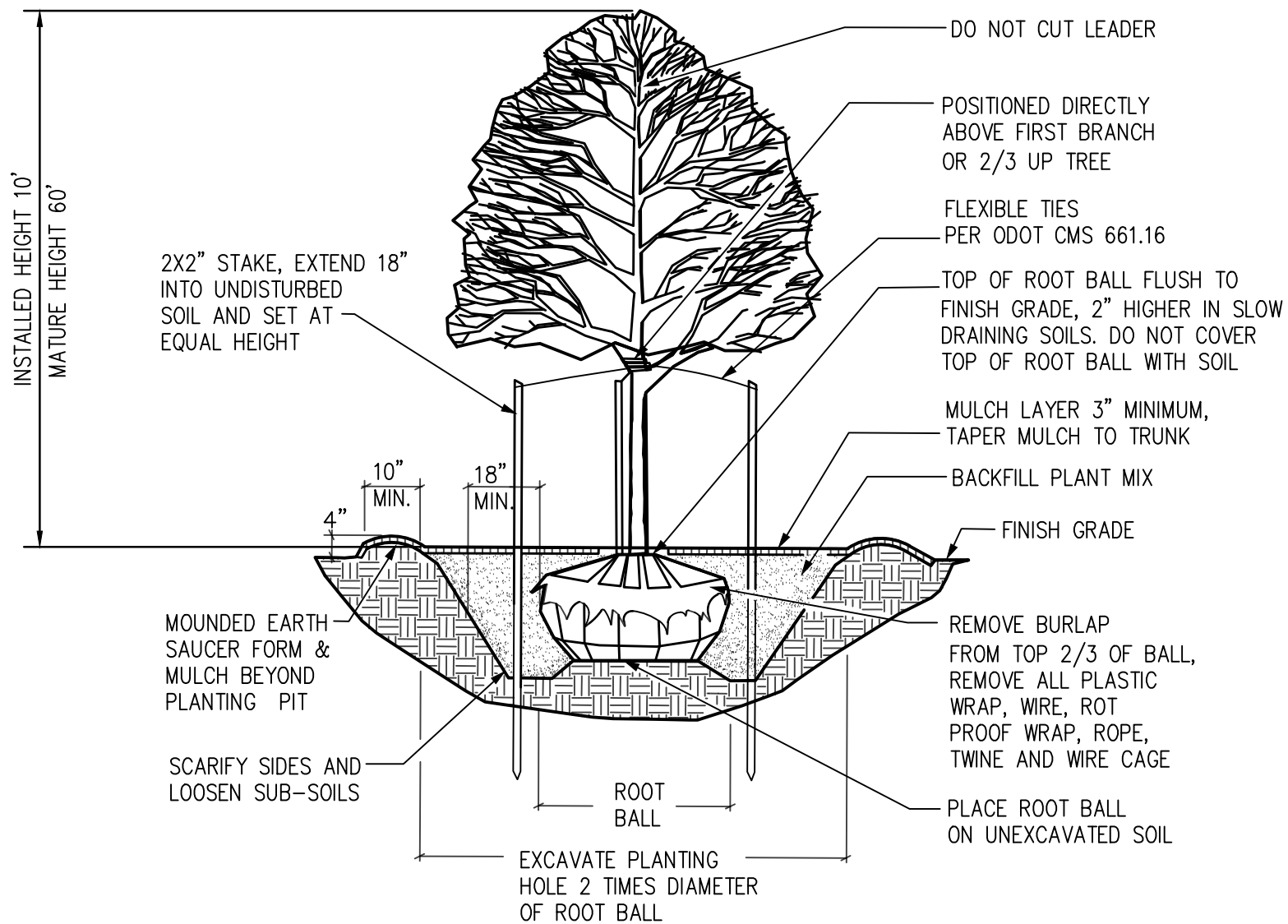
NOTES:

ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.

SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

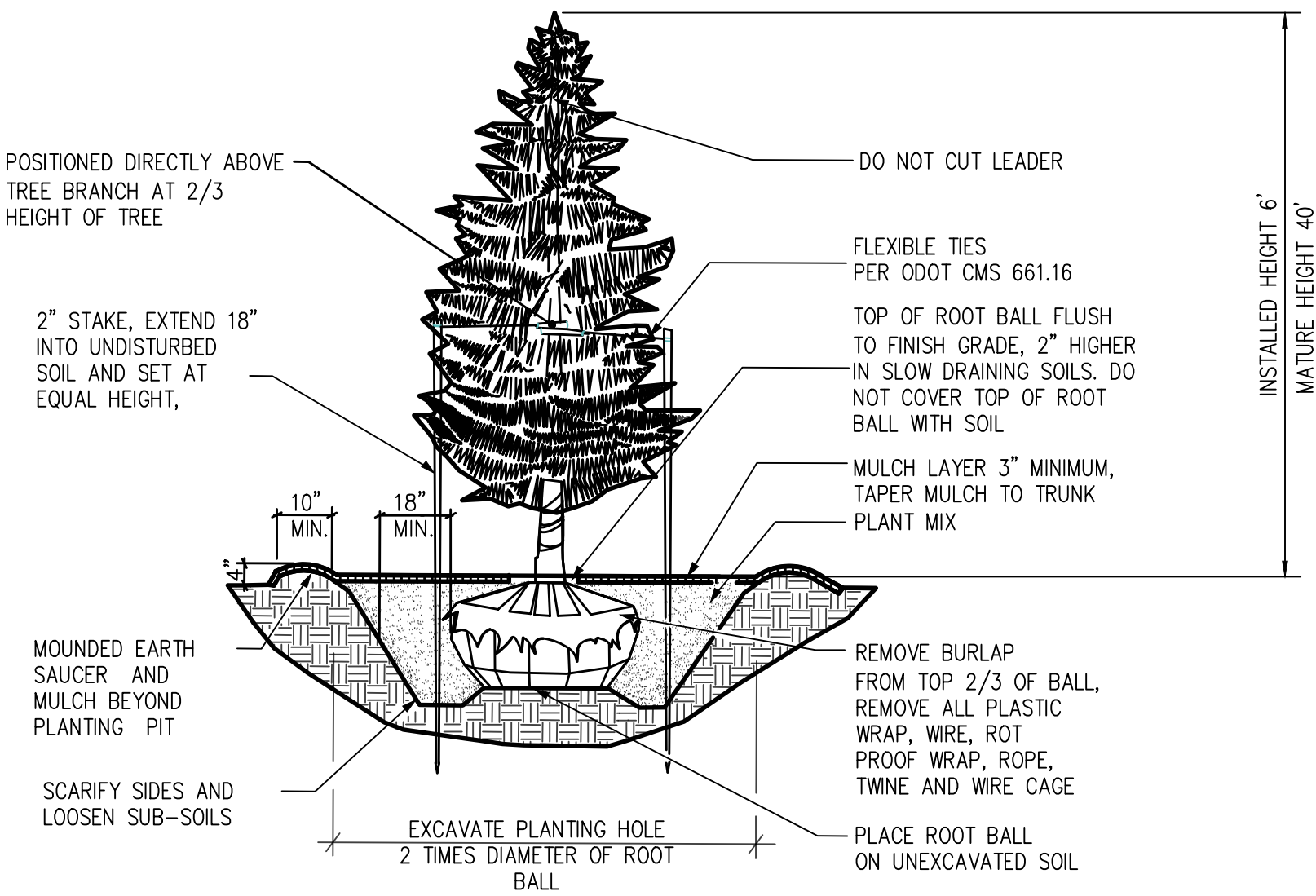
MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)

NO SCALE



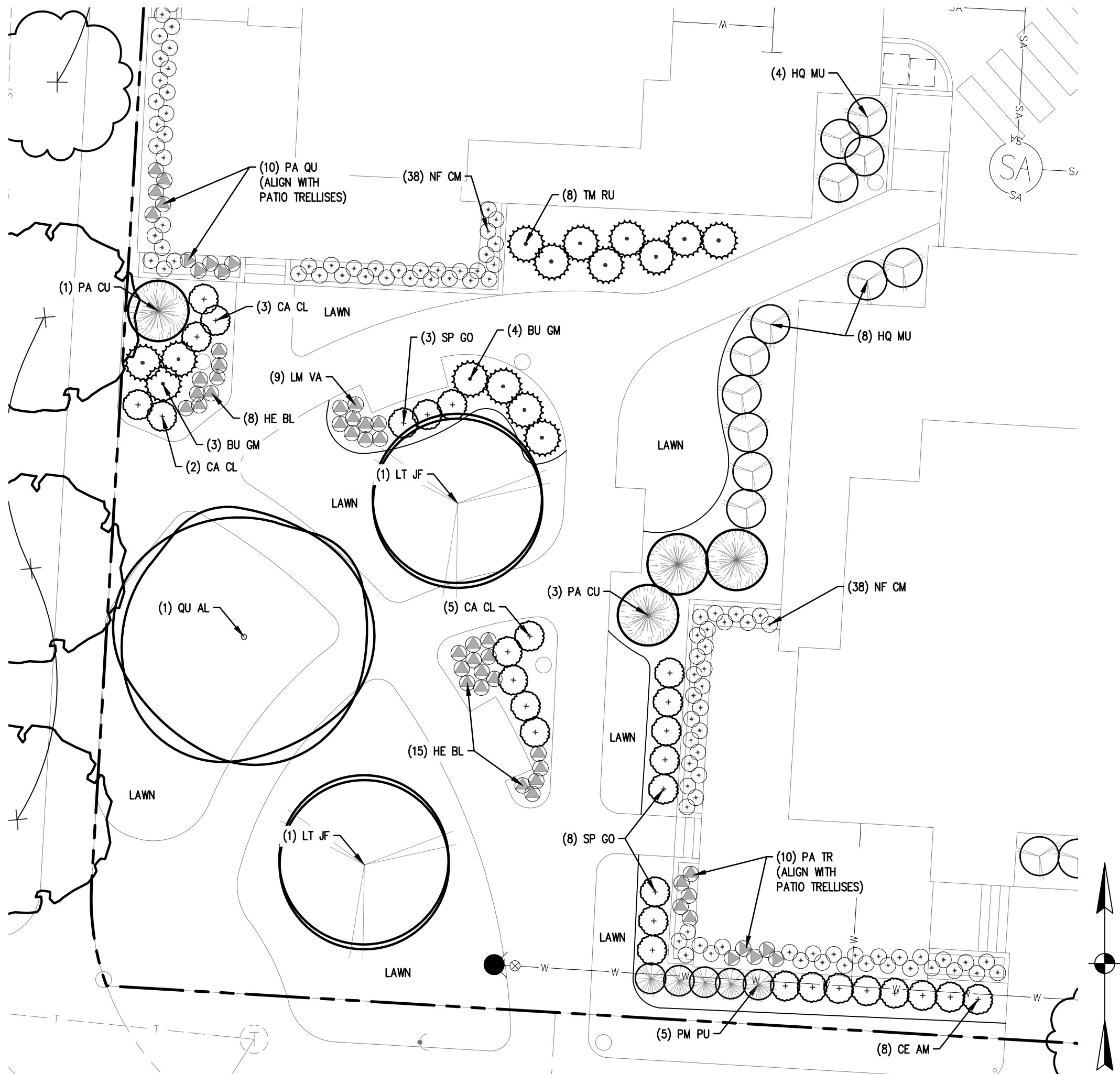
DECIDUOUS TREE PLANTING DETAIL

NO SCALE




EVERGREEN TREE PLANTING DETAIL

NO SCALE

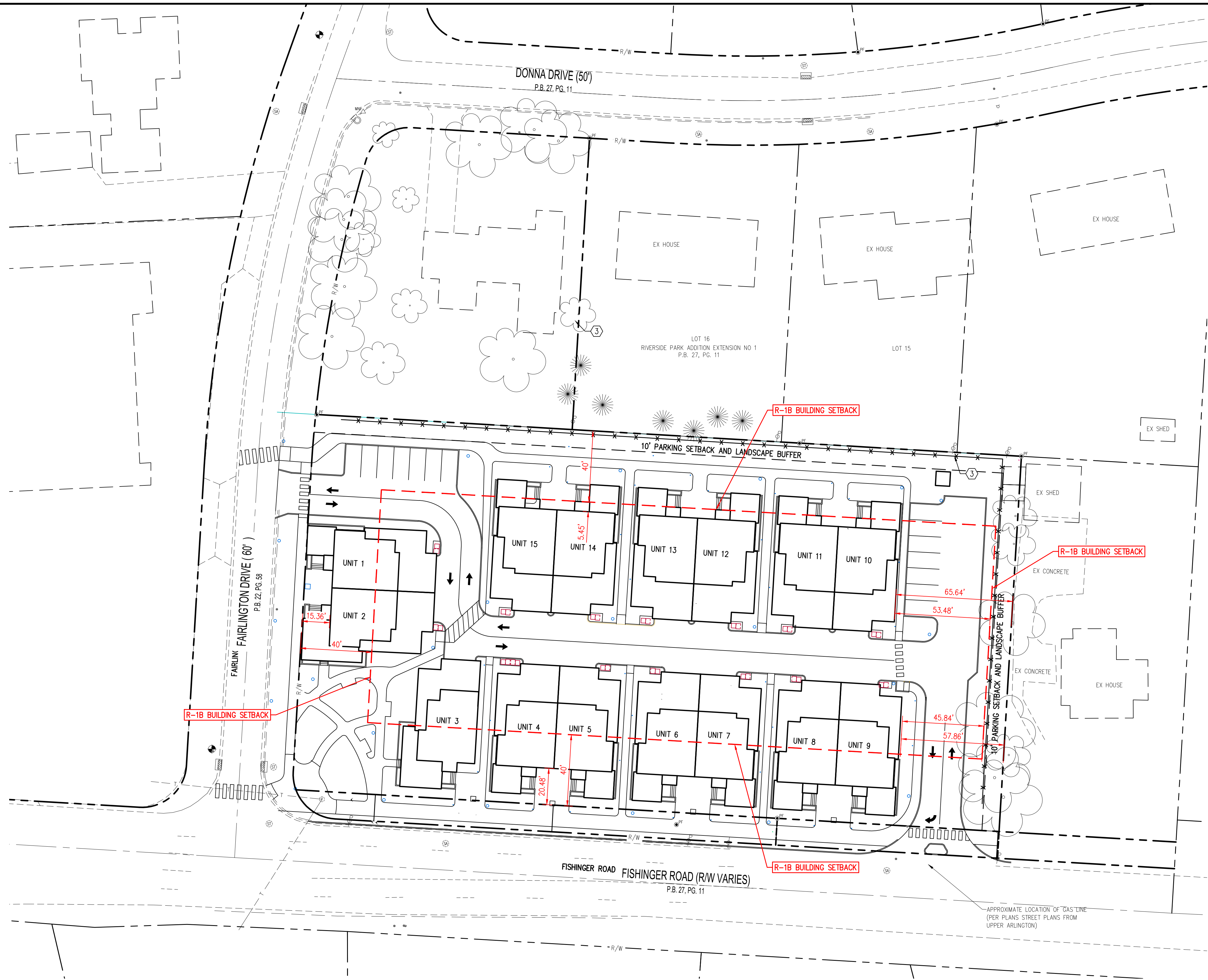


CORNER GREENSPACE

SCALE: 1"=10'

L101	LANDSCAPE NOTES AND DETAILS	REZONING PLANS FOR FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221	PREPARED FOR MOMENT DEVELOPMENT 800 NORTH-HIGH STREET SUITE 03-108 COLUMBUS, OH 43215	 TECHNICAL SKILL: CREATIVE SPIRIT. www.MannikSmithGroup.com	1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.688.7340		NO.	DATE	BY	DESCRIPTION
					PROJECT DATE: 5/6/2022					
					PROJECT NO: MS870006					
					DRAWN BY: KJM					
					CHECKED BY: MUM					

W:\Projects\Projects\K\04587006\CA05\HIBTS\202003 - Single Family Zoning Comparison.dwg, Last saved 7/5/2022 3:51 PM by dlawer, plotdate 7/6/2022 5:56 AM



LEGEND	
- P/L -	PROPERTY LINE
- R/W -	RIGHT OF WAY
- ST -	EX STORM LINE
- SA -	EX SANITARY LINE
- W -	EX WATER LINE
- OE -	EX OVER HEAD ELECTRIC LINE
- T -	EX TELECOM LINE
⊗	EX STORM MANHOLE
⊠	EX CURB INLET
⊙	EX SANITARY MANHOLE
⊖	EX TELECOM MANHOLE
⋄	EX GAS VALVE
•	EX WATER VALVE
⬡	PARKING COUNT
— x — x — x —	FENCE LINE

DESCRIPTION		BY	DATE	NO.
1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 614.441.4222				
PROJECT NO: 1587006 PROJECT DATE: 5/6/2022				
DRAWN BY: KJW				
CHECKED BY: MMJ				

TECHNICAL SKILL:
CREATIVE SPIRIT:

www.MannikSmithGroup.com

PREPARED FOR:	MOMENT DEVELOPMENT 800 NORTH-HIGH STREET SUITE 03-108 COLUMBUS, OH 43215
REZONING PLANS FOR	FAIRLINGTON HEIGHTS 2770 FISHINGER RD, COLUMBUS OH 43221

SITE PLAN	C200
-----------	------

FAIRLINGTON HEIGHTS DEVELOPMENT STANDARDS TEXT

Northeast Corner of Fishinger Road and Fairlington Drive

City of Upper Arlington, Ohio

Developer: Moment Development c/o Ohm Patel

Site: Approximately 1.92 +/- acres located at the northeast corner of Fishinger Road and Farlington Drive

Zoning Case #:

Date of Text: Jul 11, 2022

1. Introduction: The Developer is seeking a rezoning of approximately 1.92 +/- acres of land located at the northeast corner of Fishinger Road and Farlington Drive from R-1(b) single family district to RCD, residential community district in order to develop 15 single family condominium units as shown on the proposed site plan (the "Site Plan").

2. Permitted Uses: Only the following uses shall be permitted: Fifteen(15) single family condominium dwellings. Buildings may have attached garages.

3. Development Standards:

A. Density, Lot, and/or Setback Commitments:

1. The maximum number of dwelling units shall be 15.

2. The setbacks shall be as follows:

Parking setback from Fishinger Road: 10 feet from right of way.

Building setback from Fishinger Road: 10 feet from right of way.

Parking setback from Fairlington Drive: 10 feet from right of way.

Building setback from Fairlington Drive: 0 feet from right of way.

Parking setback from east property line adjacent to Franklin County Parcel No. 070-007764: 10 feet

Building setback from east property line adjacent to Franklin County Parcel No. 070-007764: 50 feet

Parking setback from north property line adjacent to Franklin County Parcel Nos. 070-007860 and 070-007859: 10 feet

Building setback from north property line adjacent to Franklin County Parcel Nos. 070-007860 and 070-007859: 40 feet

Landscaping, mounding, fencing, irrigation, lighting, signage and lawns shall be permitted in the setback areas. Public sidewalk shall also be permitted in the setbacks along Fishinger Road and Fairlington Drive only.

B. Height:

Height limitations shall vary as set forth below and as depicted on the Site Plan:

1. The dwelling shall be within a 33'0" maximum building height.

C. Access/Loading/Parking:

1. All circulation, curb cuts, and access points shall be subject to the review and approval of the City Engineer and Fire Department.
2. Parking shall be limited to two (2) vehicle spaces per unit in the garage. No parking shall be permitted in dwelling unit driveways or in drive aisles within the project. Additional short term guest parking shall be provided as identified on the Site Plan.
3. Cross parking shall be permitted.
4. Minimum drive width within the project shall be 22.5 feet

D. Buffering/Landscaping/Open Space/Screening

1. Landscaping of the property shall be in accordance with this text and per the direction and approval of the City Forester.
2. Recommended tree list and sizes will follow table 6-J in the City of Upper Arlington Code of Ordinances. Tree caliper shall be measured 6 inches from ground.
3. Landscaping shall be maintained in a neat condition and dead materials shall be replaced with new landscaping which meets the size requirements contained in this text and the accompanying site plan, within six months or the next planting season.
4. A solid 8' tall wood privacy fence that will step down to 6' and then down to 42" when approaching Fishinger Road and will end 15 feet from the front property line, shall be constructed. This will be constructed on the east and north property lines. The fence will be maintained in a good condition and shall be painted and repaired annually. A condominium association established for the project in accordance with Ohio Revised Code Chapter 5311 will be responsible for the maintenance (the "Condominium Association").

5. A landscape buffer including a mixture of ornamental, shade and evergreen trees shall be installed.

6. Landscaping will be maintained by the Condominium Association.

6. A sidewalk shall be installed adjacent to and in the City's right-of-way along Fairlington Drive and Fishinger Road as shown on the Site Plan.

7. The project shall have a maximum lot coverage of 75% with a minimum of 25% open space.

8. The Condominium Association has or will enter into a contract to maintain the landscaping, trees, and shrubs on Franklin County Parcel No. 070-007764 for a fee to be paid to the Condominium Association. The Condominium Association may also enter into contracts with neighboring property owners to blow or rake leaves at no cost to the neighboring property owners. Maintenance of these areas will be on the same schedule as maintenance of the Condominium Common Elements.

E. Building Design/Exterior Treatment:

1. All buildings shall be finished with brick, fiber cement siding, glass, metal and any combination thereof. Brick shall be the primary material for front and side elevations. Fiber cement siding or panels shall be the primary material on rear facades and may make up to 100% of said facades.

2. Roof top materials shall consist of thermoplastic polyolefin (TPO) material.

3. Pitched roofs with gabled or hipped ends are permitted. Each unit shall be designed such that if solar panels need to be added retroactively, they could be incorporated based on each individual user's needs.

4. Building designs shall be consistent with the architectural plans submitted to the City and designed by RDL Architects (the "Architectural Plans").

5. Rooftop decks are permitted on dwelling units subject to the following limitations: All lighting must have cut-off fixtures or shades. Spot lights and string lights shall not be permitted. Hot tubs, water features and fire places shall not be permitted. Gas and charcoal grills shall be permitted. The foregoing limitations have been included in the Sample Condominium Declaration to be recorded in the chain of title for the project.

6. Interior rooftop amenity space will not make up more than 2/3rds of the floor below.

F. Dumpsters/Lighting/Outdoor Display Areas/Other Environmental.

1. Trash storage shall be provided internal to each unit. Exterior locations for pick up shall be raised up from the curb and driving surface and separated from the path of automobile travel and shall be provided within 50'0" from the garage door of each unit. See attached Architectural Plans for locations.
2. All trash containers shall be stored within the residential garages.
3. All external outdoor lighting fixtures to be used shall be from the same or a similar manufacturer's type to ensure aesthetic compatibility. See attached sample cut sheets for color, style and specifications (the "Lighting Designs").
4. Stormwater management detention/retention areas shall be designed in accordance with the requirements of the City Engineer and shall be maintained by the Condominium Association.

G. Maintenance/Owners Association

1. The Condominium Association will have the obligation to maintain and complete all repairs and replacements necessary for all common open space areas, fencing, landscaping, lawns, lighting, irrigation systems, storm water detention, setback areas and drive aisles within the project. A copy of the proposed condominium declaration to be recorded as required by Ohio Revised Code Chapter 5311 is attached (the "Sample Condominium Declaration"). The Sample Condominium Declaration provides for the mandatory assessment of maintenance contributions and provides the Condominium Association with the power and authority to file liens for non-payment.
2. Any lease of a dwelling unit shall be for a minimum of twelve months and shall be subject to approval by the Condominium Association. Short term rental of units for any period of less than twelve months shall be prohibited. The foregoing limitations have been incorporated in the Sample Condominium Declaration to be recorded in the chain of title for the project.
3. Mailboxes will be located in a central location as noted on the Site Plan.

G. Miscellaneous.

1. Variance requests to the standards set forth in this Development Text shall be reviewed and approved by the Board of Zoning & Planning (BZAP).
2. Construction will start along Fishinger Road and then move north up Fairlington Drive. There is no phasing planned but instead construction will continue from the date of commencement until the project is fully complete.
3. The proposed project shall be developed in general conformance with the submitted Site Plan, Architectural Plans, Lighting Designs and Sample Condominium Declaration (collectively the "Plans"). The Plans may be adjusted to

reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any adjustment to the Plans shall be reviewed and may be approved by city staff upon submission of the appropriate data regarding the proposed adjustment.